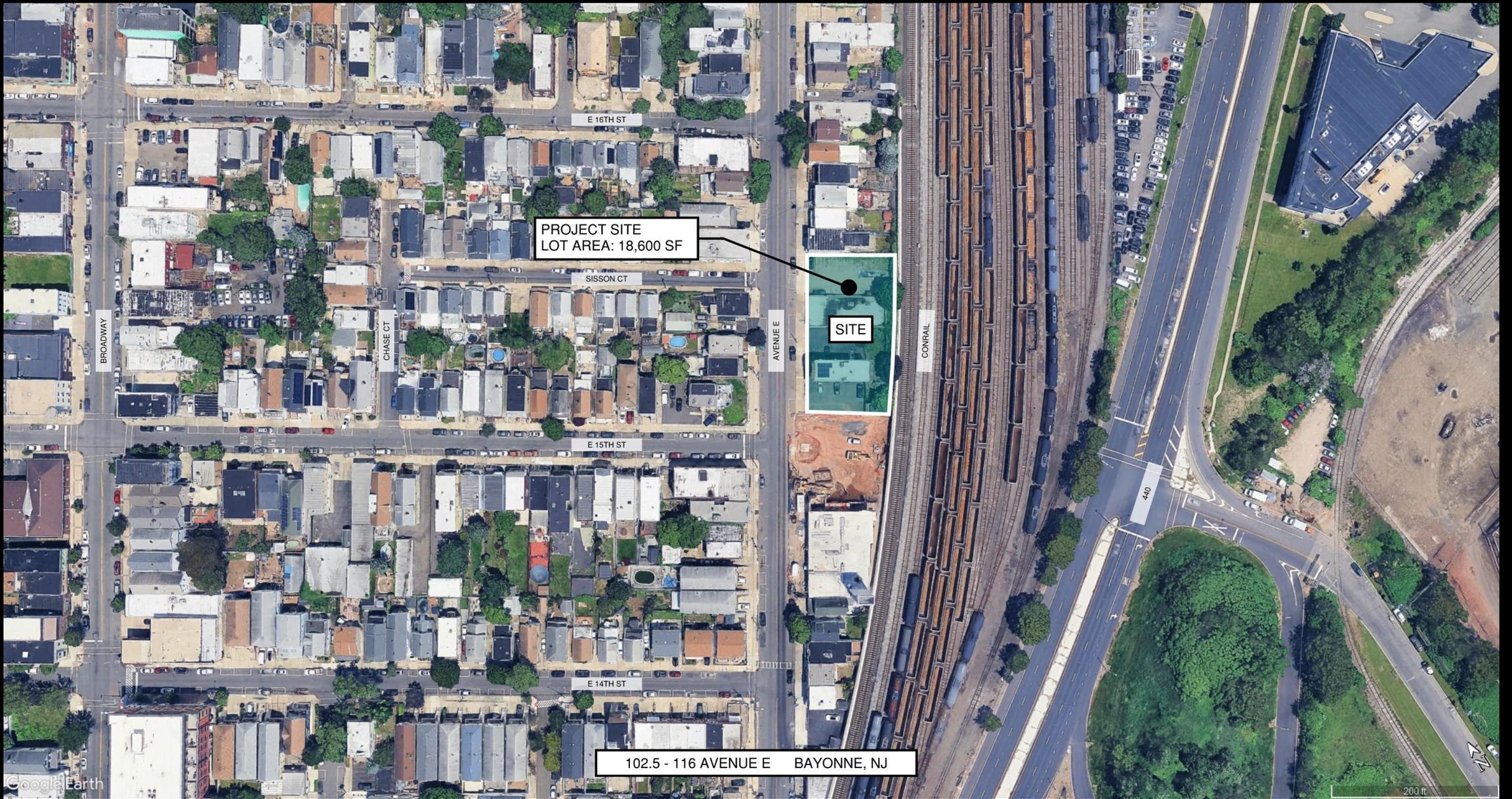


102.5 – 116 Avenue E Redevelopment Plan

12/03/25

102-116 AVE E BAYONNE LLC.

Bayonne, New Jersey



PROJECT SITE
LOT AREA: 18,600 SF

SITE

102.5 - 116 AVENUE E BAYONNE, NJ

Google Earth

200 ft



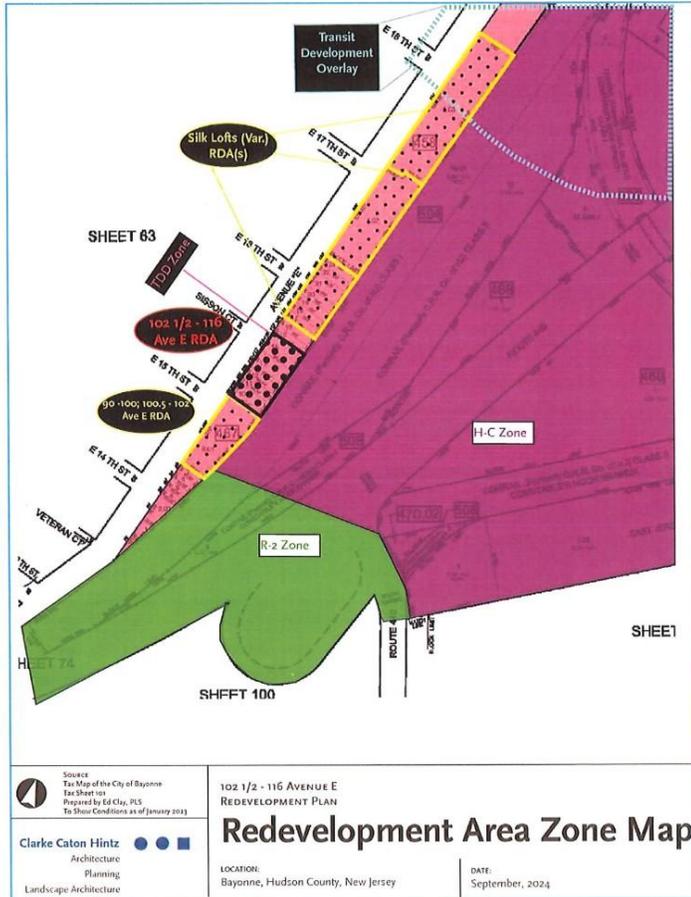
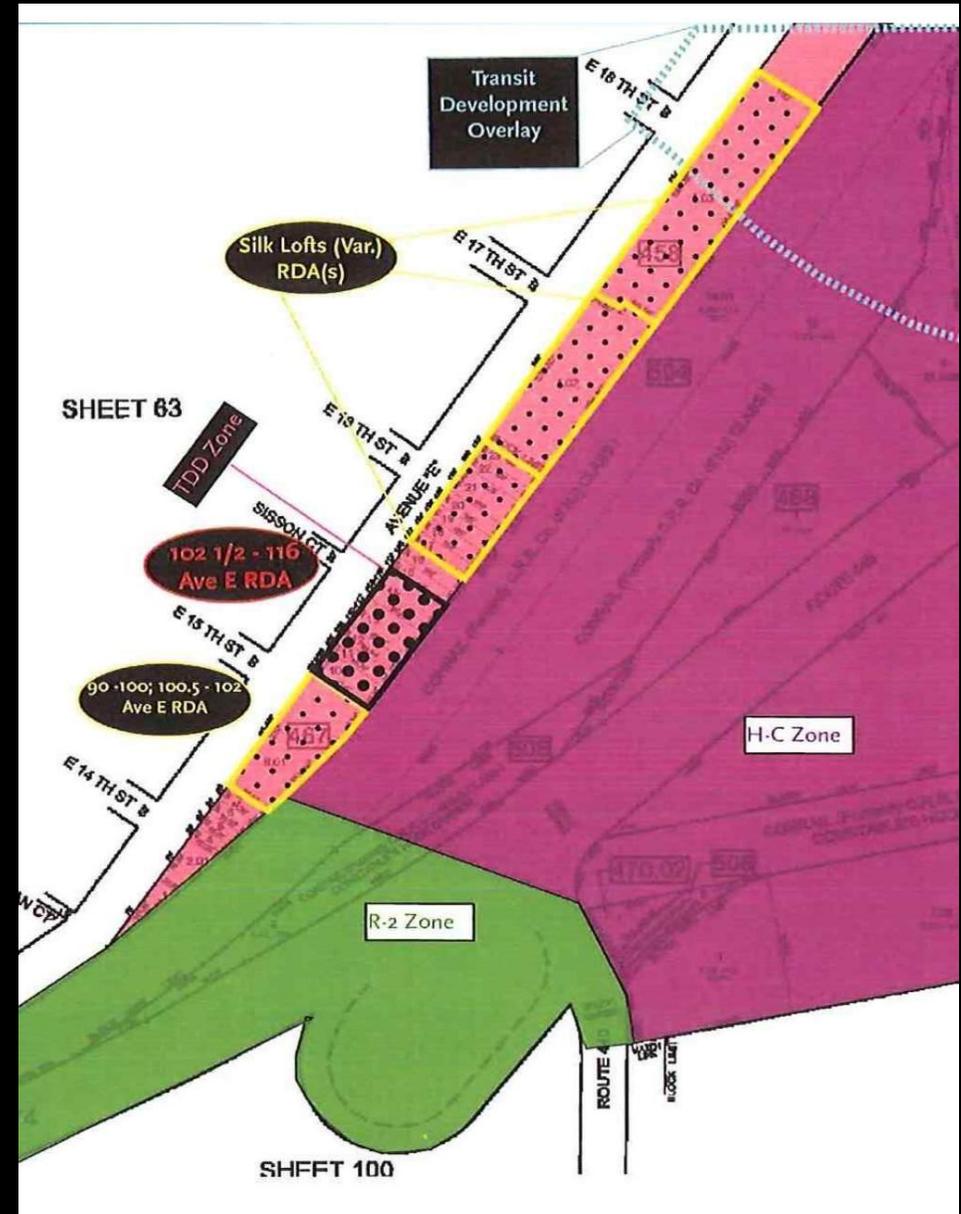


FIGURE 4. UNDERLYING ZONING WITHIN AND AROUND THE REDEVELOPMENT AREA









PRELIMINARY AND FINAL SITE PLAN
102.5-116 AVENUE E

102.5-116 AVE E
 BAYONNE, NJ



ARTISTIC RENDERING

DRAWING LIST		SITE PLAN AND SURVEY DATA	PROJECT DATA
SHEET NUMBER	SHEET NAME	SITE PLAN DATA IS TAKEN FROM A BOUNDARY AND TOPOGRAPHIC SURVEY DATED 10/22/2024 AND UPDATED ON 07/28/2025 PREPARED BY: LAKELAND SURVEYING 4 WEST MAIN STREET ROCKAWAY, NJ N.J. LIC. NO. 24050041900	BLOCK NUMBER 10, 11, 12, 13 & 14
C01	COVER SHEET		ZONING DISTRICT T03
A01	GROUND FLOOR PLAN		LOT AREA 18,603 SF
A02	MEZZANINE FLOOR PLAN		BUILDING FOOTPRINT 17,267 SF
A03	2ND FLOOR PLAN		RESIDENTIAL USE 82,249 SF
A04	3RD FLOOR PLAN		DWELLING UNITS 105
A05	ROOF PLAN		PARKING SPACES 116
A06	AVENUE E BUILDING ELEVATION		
A07	EAST BUILDING ELEVATION		
A08	SOUTH BUILDING ELEVATION		
A09	WEST BUILDING ELEVATION		
A10	BUILDING SECTION		
A11	BUILDING SECTION		
S01	SITE DETAILS		
S02	SIGNAGE DETAILS		

PLANNING BOARD APPROVAL

PRELIMINARY AND FINAL SITE PLAN APPROVAL IS HEREBY GRANTED TO THIS SITE PLAN BY THE PLANNING BOARD OF THE CITY OF BAYONNE, NEW JERSEY THIS DAY OF _____ 2025.

BOARD CHAIRMAN

BOARD SECRETARY

BOARD PLANNER

BOARD ENGINEER

Dean Marchitto, F.A.S., P.P.
 NJ 02743
 Michael Higgins, AIA, LEED
 NJ 14033620
 Bruce A. Selve, AIA
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 Michael Deane, AIA
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 2025.11.11 10:00:22 -0500

PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
 BAYONNE, NJ

PREPARED FOR:
102-116 AVE E BAYONNE LLC
 148 E 5TH ST. BLDG 7A
 BAYONNE, NEW JERSEY 07002

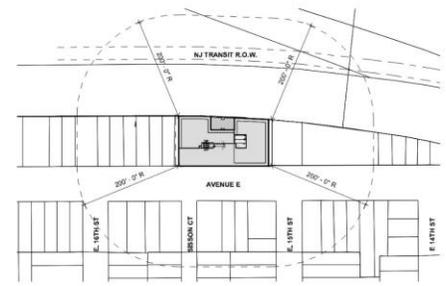
ISSUE #	DATE	FOR
09/15/2025		PRELIMINARY & FINAL SITE PLAN
11/11/2025		PLAN REVIEW COMMENTS

COVER SHEET

PROJECT NUMBER: 2525
 SCALE: As indicated
 DRAWN BY: RBJ
 CHECKED BY: DS

C01

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1 SITE MAP
 SCALE: 1" = 100'-0"

NOTE:
The sizes of supporting steel structures, machines, lift posts, and base plates are TBD.
NOT FOR CONSTRUCTION



Parkstory

PARKSTORY INC.
1932 JORDACHE CT
GASTONIA, NC, USA, 28052
Tel: 704.616.3317
Email: steffen.nussbaum@parkstory.com

PROJECT:
PS.162-102.5 Ave E, Bayonne, NJ

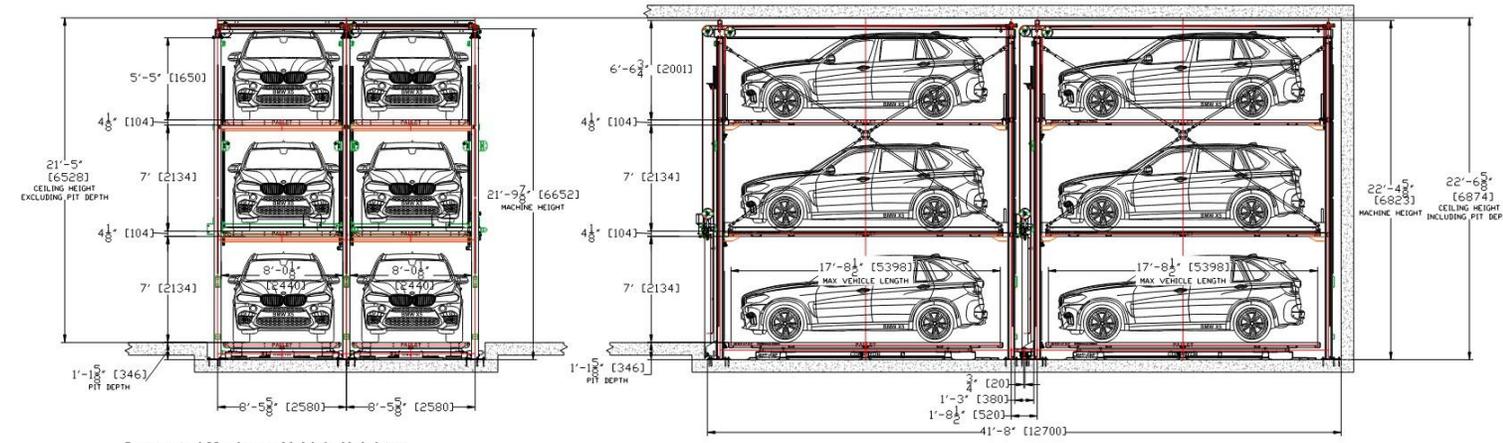
DESCRIPTION:
• Volume Analysis

FILE NAME:
PS.162-102.5 Ave E, Bayonne, NJ-
Vol. Analysis-rev1-2025.09.08.DWG

REV NAME: Rev1
REV DATE: 2025.09.08

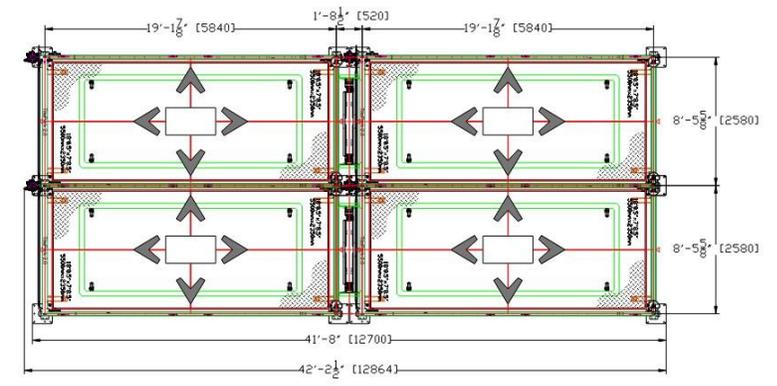
SCALE:
3/32" = 1'

PARKING COUNT:
TILEPARK 3000 STACKER 38
TRANSFER CABINS WITH TURNTABLE 2
FULLY AUTOMATED SPACES (PALLET) 107
SELF-PARKING SPACES 3
TID



Suggested Maximum Vehicle Heights:
UPPER 76" Medium SUV (Include 2" buffer)
INTERMEDIATE 82" Tall SUV (Include 2" buffer)
LOWER 82" Tall SUV (Include 2" buffer)

TILEPARK SPECIFICATION	
POWER REQUIREMENT	208V, 220A, 60Hz, 3PHASE
ELECTRICAL COMPONENT	UL-RECOGNIZED
MAXIMUM VEHICLE WEIGHT	6,600 lbs.
CONVEYOR FRAME	GALVANIZED STEEL
PALLET FRAME	GALVANIZED STEEL
PALLET SURFACE	POWDER-COATED DIAMOND PLATE STEEL
TRANSFER CABIN COMPATIBILITY	ADA COMPATIBLE DESIGN <0.5" GAP
TRANSFER CABIN CONTROL	KEYPAD OR MOBILE APP.
FIXING METHOD	WEIGHT / GRAVITY
FLOOR SPECIFICATION	~0.5% SLOPE (1/16") FF20, & FL15 PER ASTM E1155



VOLUME ANALYSIS:

DATE	DRAWN BY	CHECKED BY
2025.08.29	H.RAYYIS	
2025.09.08	H.RAYYIS	

DETAIL-ARRANGEMENT DRAWINGS:

DATE	DRAWN BY	CHECKED BY

FINAL-ARRANGEMENT DRAWINGS:

DATE	DRAWN BY	CHECKED BY

SEAL / CLIENT SIGNATURE:

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DRAWING No. VA- 3

EQUIPMENT DETAILS



1 BUILDING SECTION
SCALE: 1/8" = 1'-0"

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PROJECT NAME:
102.5-116 AVENUE E
102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
**102-116 AVE E BAYONNE
LLC**
148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

ISSUE #	DATE	FOR
	09/15/2025	PRELIMINARY & FINAL SITE PLAN

BUILDING SECTION

PROJECT NUMBER:	2525
SCALE:	1/8" = 1'-0"
DRAWN BY:	RM
CHECKED BY:	DS

A10

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1 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

UNIT COUNT - 2ND FLOOR	
TYPE	# OF UNITS
ST	3
1 BR	5
1 BR+D	4
2 BR	3
TOTAL	15

- LEGEND
- ST
 - 1 BR
 - 1 BR+D
 - 2 BR
 - AMENITY
 - CORE AND VERTICAL CIRCULATION
 - CORR
 - MWP

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PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
102-116 AVE E BAYONNE LLC

148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

ISSUE #	DATE	FOR
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

2ND FLOOR PLAN

PROJECT NUMBER: 2525

SCALE: 1/8" = 1'-0"

DRAWN BY: RM

CHECKED BY: DS

A02

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UNIT COUNT - 3RD - 7TH FLOOR	
TYPE	# OF UNITS
ST	25
1 BR	25
1 BR+D	25
2 BR	15
TOTAL	90

- LEGEND
- ST
 - 1 BR
 - 1 BR+D
 - 2 BR
 - CORE AND VERTICAL CIRCULATION
 - CORR
 - MSP

MHS ARCHITECTURE

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NJ 02742
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NJ 02742-3850
Bruce A. Steve, AIA
NJ 02740-1377-10
Michael Buldo, AIA
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PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
102-116 AVE E BAYONNE LLC

148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

ISSUE #	DATE	FOR
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

3RD-7TH FLOOR PLAN

PROJECT NUMBER: 2525

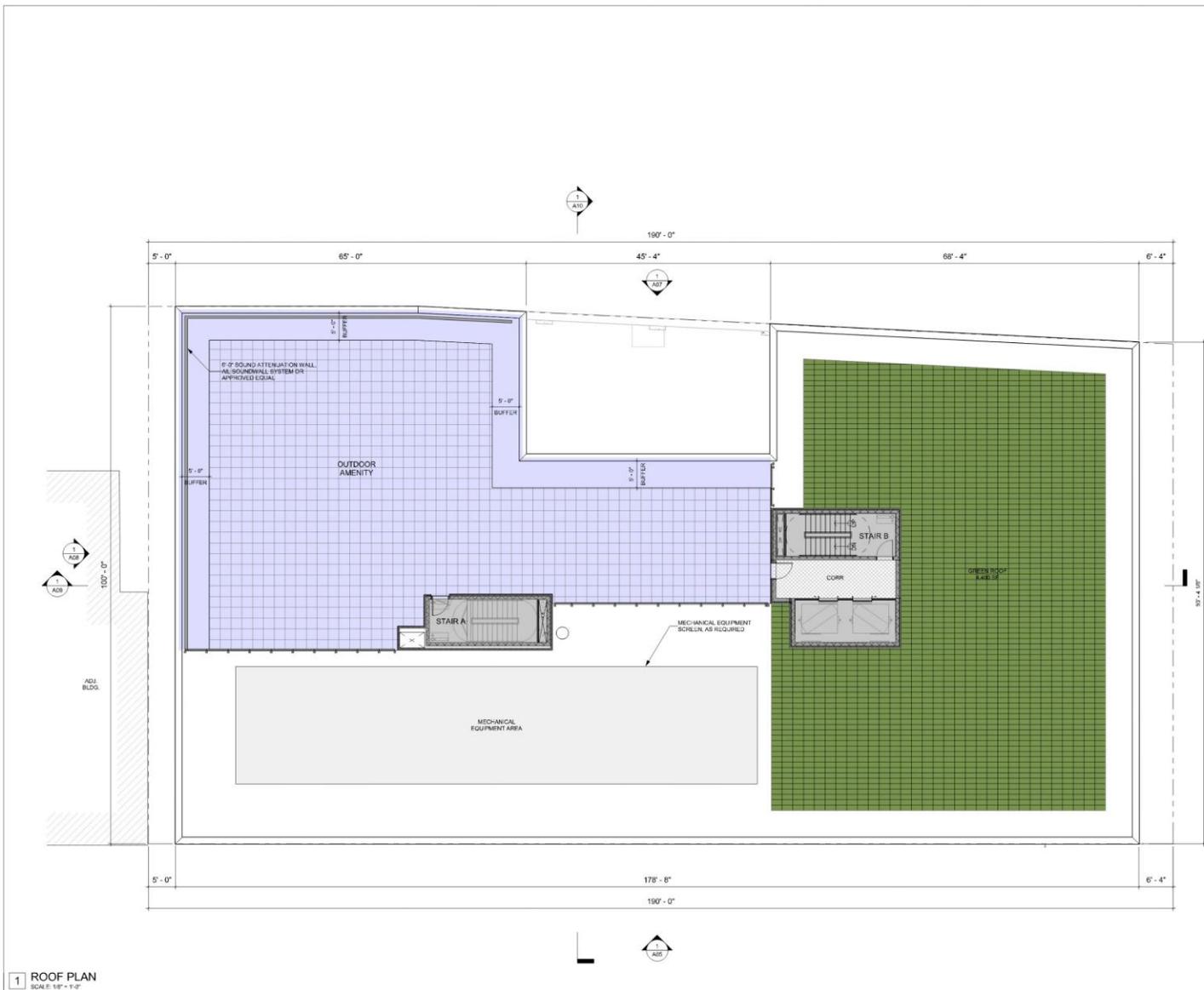
SCALE: 1/8" = 1'-0"

DRAWN BY: RM

CHECKED BY: DS

A03

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF NOTES

1. ALL ROOF LEADERS SHALL RUN INTERNALLY THROUGH THE BUILDING AND SHALL CONNECT TO THE EXISTING STORM WATER SYSTEM.
2. ALL MECHANICAL EQUIPMENT SERVING THE BUILDING SHALL BE PLACED ON THE ROOF OF THE BUILDING. NO MECHANICAL EQUIPMENT SHALL BE PLACED ON THE GROUND FLOOR OUTSIDE OF THE BUILDING ON ANY AREA THAT ABUTS A PUBLIC RIGHT-OF-WAY.
3. ALL MECHANICAL EQUIPMENT, GENERATORS, HVAC EQUIPMENT, AND SIMILAR EQUIPMENT SHALL BE ACoustically BUFFERED SUCH THAT ANY NOISE GENERATED SHALL BE WITHIN THE APPLICABLE STANDARDS AS DEFINED BY THE STATE OF NEW JERSEY.
4. A MINIMUM OF 2% OF THE AGGREGATE OF ALL ROOFTOPS WITHIN THE ROOF AREA SHALL BE DEVOTED TO GREEN ROOFS.
TOTAL ROOF AREA = 17,430 SF
REQUIRED GREEN ROOF = 4,338 SF
GREEN ROOF PROVIDED = 4,400 SF

- LEGEND
- AMENITY
 - CORE AND VERTICAL CIRCULATION
 - CORR

Dean Marchitto, FAIA, PPI
NJ COTRAC
Michael Higgins, AIA, LEED
NJ21A033850
Bruce A. Steve, AIA
NJ21A0137710
Michael Brady, AIA
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PROJECT NAME:
102.5-116 AVENUE E
102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
102-116 AVE E BAYONNE LLC
148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

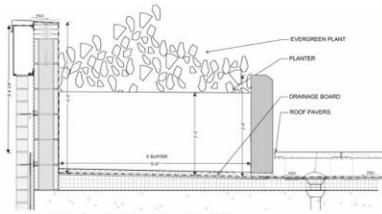
ISSUE #	DATE	FOR:
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

ROOF PLAN

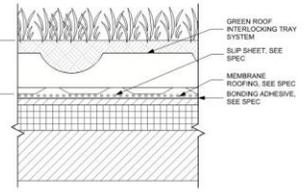
PROJECT NUMBER: 2525
SCALE: As Indicated
DRAWN BY: RM
CHECKED BY: DS

A04

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4 TYPICAL GREEN ROOF TRAY
SCALE: NOT TO SCALE



3 TYPICAL GREEN ROOF TRAY
SCALE: 3\"/>



2 GREEN ROOF DETAIL - SEDUM BLEND
SCALE: NOT TO SCALE

ROOF NOTES

1. ALL ROOF LEADERS SHALL RUN INTERNALLY THROUGH THE BUILDING AND SHALL CONNECT TO THE EXISTING STORM WATER SYSTEM.
2. ALL MECHANICAL EQUIPMENT SERVING THE BUILDING SHALL BE PLACED ON THE ROOF OF THE BUILDING. NO MECHANICAL EQUIPMENT SHALL BE PLACED ON THE GROUND FLOOR OUTSIDE OF THE BUILDING ON ANY AREA THAT ABUTS A PUBLIC RIGHT-OF-WAY.
3. ALL MECHANICAL EQUIPMENT, GENERATORS, HVAC EQUIPMENT, AND DRUMS EQUIPMENT SHALL BE ACOUSTICALLY BUFFERED SUCH THAT ANY NOISE GENERATED SHALL BE WITHIN THE APPLICABLE STANDARDS AS DEFINED BY THE STATE OF NEW JERSEY.
4. A MINIMUM OF 2% OF THE AGGREGATE OF ALL ROOF TOPS WITHIN THE ROOF AREA SHALL BE DEVOTED TO GREEN ROOF.
TOTAL ROOF AREA = 17,430 SF
REQUIRED GREEN ROOF = 4,368 SF
GREEN ROOF PROVIDED = 4,400 SF

LEGEND

- AMENITY
- CORE AND VERTICAL CIRCULATION
- CORR

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NJ 02145 0350
Bruce A. Slave, AIA
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Michael Brady, AIA
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PROJECT NAME:
102.5-116 AVENUE E
BAYONNE, NJ

PREPARED FOR:
102-116 AVE E BAYONNE LLC
148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

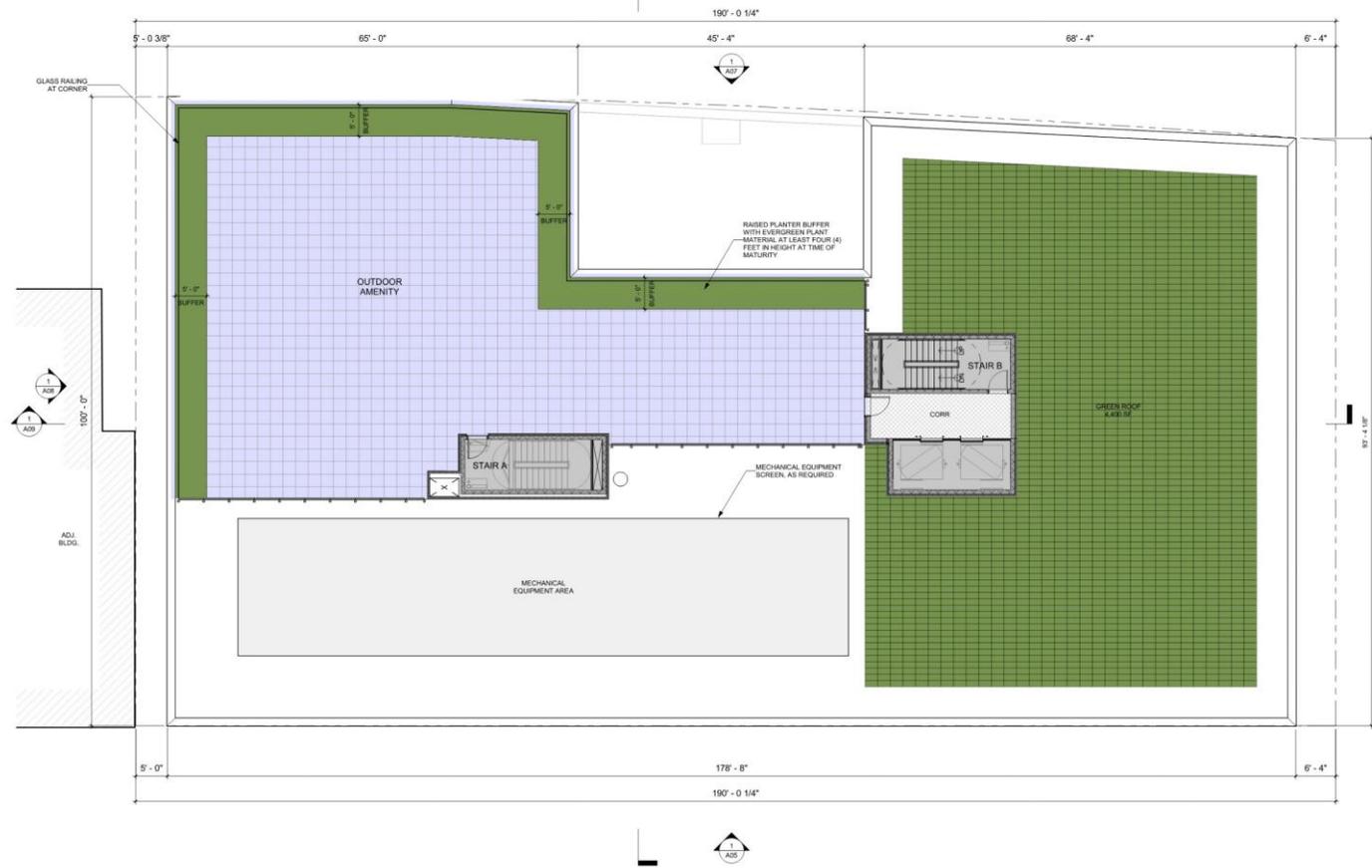
ISSUE #	DATE	FOR
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

ROOF PLAN

PROJECT NUMBER:	2525
SCALE:	As indicated
DRAWN BY:	RM
CHECKED BY:	DS

A04

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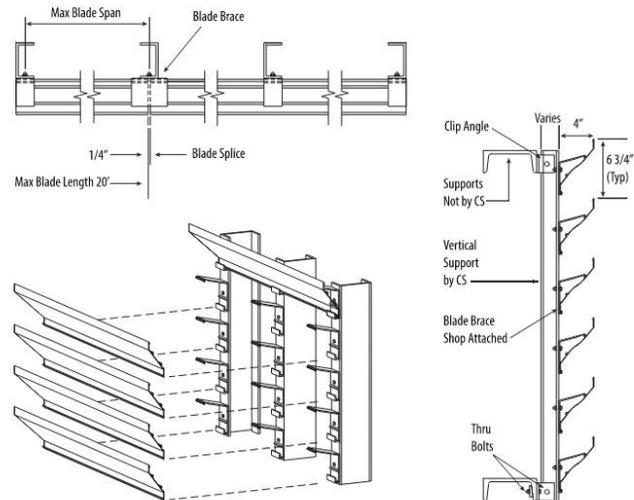
1 ROOF PLAN
SCALE: 1/8\"/>

Vert-A-Cade® 301

Product Data - Standard Construction*

BLADE MATERIAL	Extruded Aluminum (Alloy 6063-T5)
BLADE THICKNESS	0.068"
BLADE SPACING	6 1/4" on Center
BLADE DEPTH	4"
BLADE LENGTH	Up to 20' Based on Wind Load
BLADE FREE AREA	54% Based on Standard Blade Spacing
FASTENERS	Stainless Steel
CONSTRUCTION	Mechanically Fastened
SECURED TO SUPPORTS	Extruded Aluminum Clip Angles
SUPPORT MATERIAL	Steel (by others)

* When custom configuration is chosen CS shop drawings to serve as product data.



Vision Barrier Screens

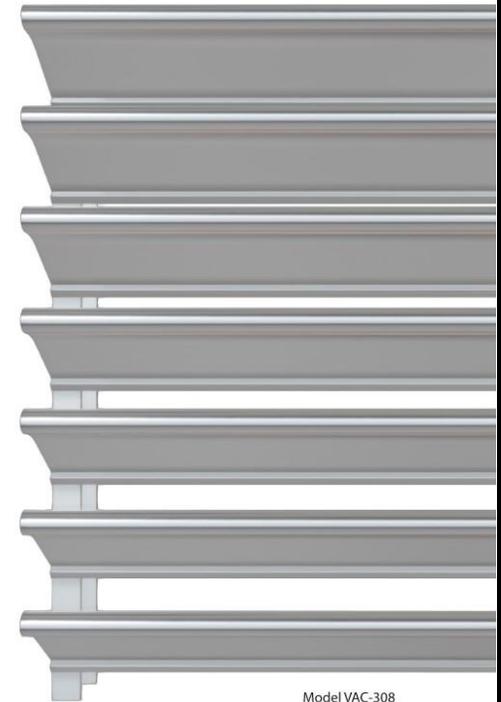
From rooftops and equipment enclosures to parking garages—nothing transforms a facade better than adding the textures, shapes, and colors of architectural screens. They offer the practical solution of a decorative facade while allowing air and light to pass through, taking your space from eyesore to landmark. For our most personalized options, Facades by Design™ allows graphics, photography, branding, signage and more to be printed on select screen models.

Advantages

- Provides up to 100% sight cutoff
- Hidden supports and frames
- Varying height, width, and blade spacing provide unlimited options for optimal sight cutoff
- Easy to install
- Blades ship in long lengths to minimize joints
- Fully engineered
- Facades by Design graphics, photography, branding and signage can be printed on select screen models.

Applications

- Parking garages
- Mechanical screening
- Horizontal or vertical accent walls
- Rooftop equipment enclosures



Model VAC-308



View 3D Model →





1 AVENUE E BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH NOTES

- COLORS INDICATED REPRESENT BASIS-OF-DESIGN. FINAL COLOR SELECTION AND MANUFACTURERS MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
- ALL MANUFACTURERS AND COLORS TO BE "OR APPROVED EQUAL."

EXTERIOR FINISH LEGEND

- BR-01 BRICK VENEER
REDDEN TRISTATE
COLUMBIARD
- MP-01 METAL PANEL
VITRABOND
PEWTER METALLIC
- ST-01 STUCCO
TEXTURED FINISH
COLOR TO MATCH BRICK
- ST-02 STUCCO
SMOOTH FINISH
COLOR TO MATCH METAL PANEL
- CS-01 CASE STONE
AMERICAN ART STONE
COLOR TO MATCH METAL PANEL
- CB-01 CONCRETE BLOCK
WESTERBROOK
GF-108
- CB-02 CONCRETE BLOCK
WESTERBROOK
GF-106

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Michael Higgins, AIA, LEED
NJ 12403-0850
Bruce A. Slive, AIA
NJ 12400-1377-10
Michael Bialek, AIA
NJ 12400-176680
NY 025141
Vincent Marchetto, AIA
NJ 12402-161600

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by Michael Bialek
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PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
**102-116 AVE E BAYONNE
LLC**
148 E 8TH ST, BLDG 7A
BAYONNE, NEW JERSEY 07002

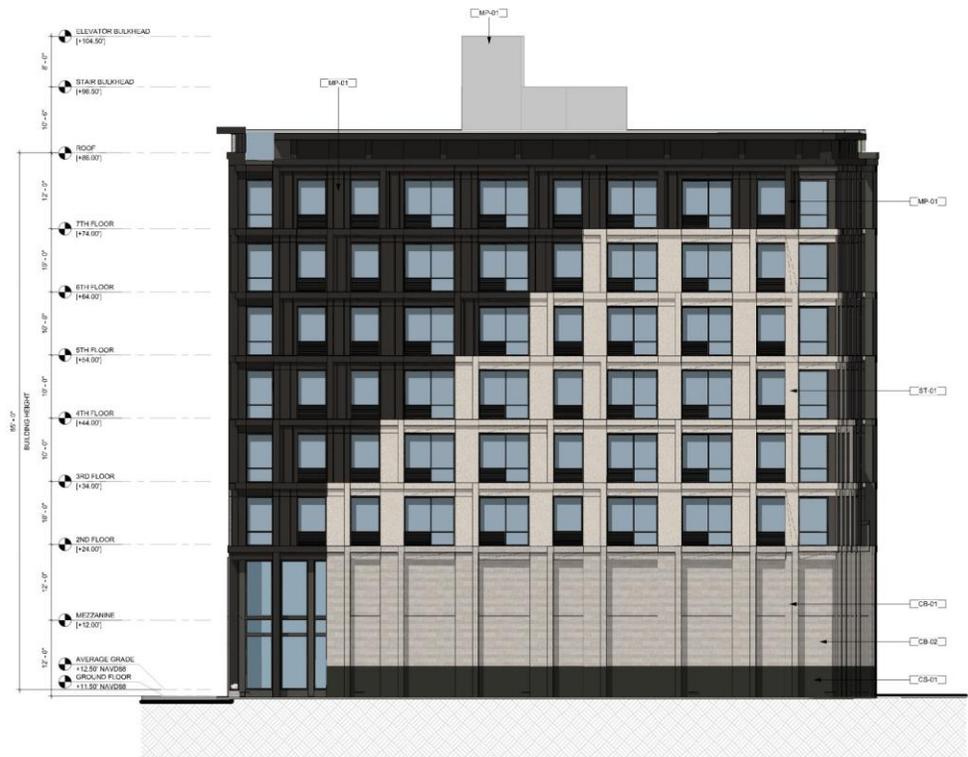
ISSUE #	DATE	FOR
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

AVENUE E BUILDING ELEVATION

PROJECT NUMBER:	2525
SCALE:	As Indicated
DRAWN BY:	RM
CHECKED BY:	DS

A05

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1 SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH NOTES

1. COLORS INDICATED REPRESENT BASIS-OF-DESIGN. FINAL COLOR SELECTION AND MANUFACTURER MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
2. ALL MANUFACTURERS AND COLORS TO BE "OR APPROVED EQUAL."

EXTERIOR FINISH LEGEND

- BR-01 BRICK VENEER
BUCKLE POSTAGE
COLUMBIARD
- MP-01 METAL PANEL
WESTEROCK
POWDER METALLIC
- ST-01 STUCCO
TITANUM FRESH
COLOR TO MATCH BRICK
- BL-01 BRICK
SMOOTH FINISH
COLOR TO MATCH METAL PANEL
- CS-01 CASE STONE
AMERICAN ART STONE
COLOR TO MATCH METAL PANEL
- CB-01 CONCRETE BLOCK
WESTEROCK
GF-100
- CB-02 CONCRETE BLOCK
WESTEROCK
GF-100

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Michael Higgins, AIA, LEED
NJ 024033850
Bruce A. Steve, AIA
NJ 02440137710
Michael Brady, AIA
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Vincent Marchitto, AIA
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PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
**102-116 AVE E BAYONNE
LLC**
148 E 8TH ST. BLDG 7A
BAYONNE, NEW JERSEY 07002

ISSUE #	DATE	FOR:
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

SOUTH BUILDING ELEVATION

PROJECT NUMBER:	2525
SCALE:	As Indicated
DRAWN BY:	RM
CHECKED BY:	DS

A06
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1 EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH NOTES

1. COLORS INDICATED REPRESENT BASIS-DESIGN. FINAL COLOR SELECTION AND MANUFACTURER MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
2. ALL MANUFACTURERS AND COLORS TO BE "OR APPROVED EQUAL."

EXTERIOR FINISH LEGEND

- BR-01 BRICK VENEER
BLOCK: FINEST
COLUMBIARD
- MP-01 METAL PANEL
TYPE: RCP
PAINT: METALLIC
- ST-01 STUCCO
TEXTURE: FRESH
COLOR TO MATCH BRICK
- SL-01 STUCCO
SMOOTH FINISH
COLOR TO MATCH METAL PANEL
- CS-01 CASE STONE
AMERICAN ART STONE
COLOR TO MATCH METAL PANEL
- CB-01 CONCRETE BLOCK
WESTEROCK
GF-108
- CB-02 CONCRETE BLOCK
WESTEROCK
GF-108

Dean Marchitto, FAIA, PFI
MICHAEL HIGGINS, AIA, LEED
N.J. 134033850
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PROJECT NAME:
102.5-116 AVENUE E
102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
**102-116 AVE E BAYONNE
LLC**
148 E 8TH ST, BLDG 7A
BAYONNE, NEW JERSEY 07002

ISSUE #	DATE	FOR
1	09/15/2025	PRELIMINARY & FINAL SITE PLAN

EAST BUILDING ELEVATION

PROJECT NUMBER: 2525
SCALE: As Indicated
DRAWN BY: RM
CHECKED BY: DS

A07
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1 NORTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH NOTES

1. COLORS INDICATED REPRESENT BASIS-OF-DESIGN. FINAL COLOR SELECTION AND MANUFACTURER MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
2. ALL MANUFACTURERS AND COLORS TO BE "OR APPROVED EQUAL."

EXTERIOR FINISH LEGEND

- BR-01 BRICK VENEER
BLOCK: FINEST
COLUMBIARD
- MP-01 METAL PANEL
TYPE: RCP
PAINT: METALLIC
- ST-01 STUCCO
TEXTURE: FRESH
COLOR TO MATCH BRICK
- SL-01 STUCCO
SMOOTH FINISH
COLOR TO MATCH METAL PANEL
- CS-01 CASE STONE
AMERICAN ART STONE
COLOR TO MATCH METAL PANEL
- CB-01 CONCRETE BLOCK
WESTERBROCK
GF-108
- CB-02 CONCRETE BLOCK
WESTERBROCK
GF-108

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Digitally signed
by Michael Bulgo
DN: cn=Michael Bulgo,
2025.11.14, c=US, email=
10.02.16.0500

PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
BAYONNE, NJ

PREPARED FOR:
**102-116 AVE E BAYONNE
LLC**
148 E 8TH ST, BLDG 7A
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ISSUE #	DATE	FOR
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NORTH BUILDING
ELEVATION

PROJECT NUMBER: 2525
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A08

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BR-01 BRICK VENEER
 MANUFACTURER: BELDEN TRISTATE
 COLOR: COLUMBARD



MP-01 METAL PANEL
 MANUFACTURER: VITRABOND
 COLOR: PEWTER METALLIC



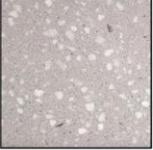
ST-01 STUCCO
 TEXTURED FINISH
 COLOR: TO MATCH BRICK



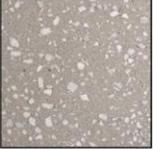
ST-02 STUCCO
 SMOOTH FINISH
 COLOR: TO MATCH METAL PANEL



CS-01 CAST STONE
 MANUFACTURER: AMERICAN ART STONE
 COLOR: TO MATCH METAL PANEL



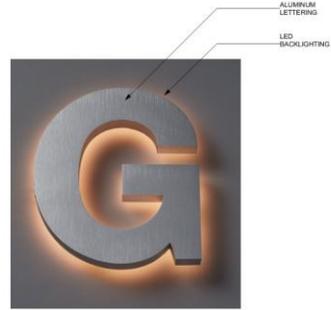
CB-01 CONCRETE BLOCK
 MANUFACTURER: WESTBROOK
 COLOR: GF-108



CB-02 CONCRETE BLOCK
 MANUFACTURER: WESTBROOK
 COLOR: GF-106



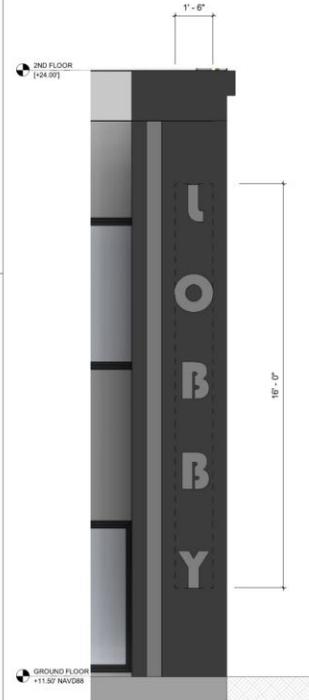




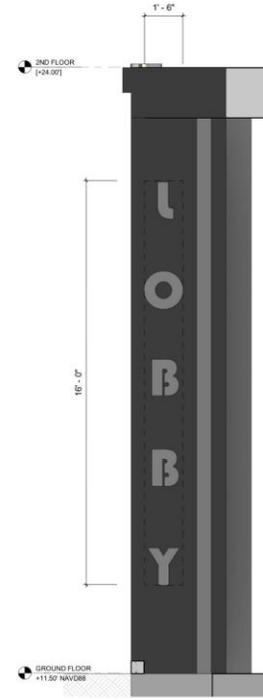
1 ENTRANCE SIGN - LETTERING
SCALE: NOT TO SCALE



2 ENTRANCE SIGN
SCALE: 1/8" = 1'-0"



3 SIGNAGE - ELEVATION A
SCALE: 1/2" = 1'-0"



4 SIGNAGE - ELEVATION B
SCALE: 1/2" = 1'-0"

SIGNAGE NOTES

1. ALL BUILDING NAMES AND SIGNAGE ARE SUBJECT TO CHANGE AND ARE ONLY SHOWN FOR DIAGNOSTIC PURPOSES ONLY. FINAL SIGNAGE DESIGN AND SIZE TO COMPLY WITH ALL ZONING AND RESCUE/DEVELOPMENT PLAN REGULATIONS.
2. SIZE OF WALL MOUNTED SIGN: 1'-4" x 16'-0"



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Digitally signed by Michael Bialek
Date: 2025.12.01 12:33:03 -0500

PROJECT NAME:
102.5-116 AVENUE E

102.5-116 AVE E
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ISSUE #	DATE	FOR
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SIGNAGE DETAILS

PROJECT NUMBER: 2525
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S02

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LEED v4 for BD+C: New Construction and Major Renovation
Project Checklist

Project Name: 102.5 - 116 Avenue E. Bayonne, NJ
Date: 12/03/2025

Y ? N
1 0 0

Credit Integrative Process 1

16 0 0 Location and Transportation 16

1	Credit	LEED for Neighborhood Development Location	16
	Credit	Sensitive Land Protection	1
2	Credit	High Priority Site	2
5	Credit	Surrounding Density and Diverse Uses	5
5	Credit	Access to Quality Transit	5
1	Credit	Bicycle Facilities	1
1	Credit	Reduced Parking Footprint	1
1	Credit	Green Vehicles	1

7 0 0 Sustainable Sites 10

Y	Prereq	Construction Activity Pollution Prevention	Required
1	Credit	Site Assessment	1
	Credit	Site Development - Protect or Restore Habitat	2
1	Credit	Open Space	1
3	Credit	Rainwater Management	3
1	Credit	Heat Island Reduction	2
1	Credit	Light Pollution Reduction	1

8 0 0 Water Efficiency 11

Y	Prereq	Outdoor Water Use Reduction	Required
Y	Prereq	Indoor Water Use Reduction	Required
Y	Prereq	Building-Level Water Metering	Required
2	Credit	Outdoor Water Use Reduction	2
6	Credit	Indoor Water Use Reduction	6
	Credit	Cooling Tower Water Use	2
	Credit	Water Metering	1

0 0 0 Energy and Atmosphere 33

Y	Prereq	Fundamental Commissioning and Verification	Required
Y	Prereq	Minimum Energy Performance	Required
Y	Prereq	Building-Level Energy Metering	Required
Y	Prereq	Fundamental Refrigerant Management	Required
	Credit	Enhanced Commissioning	6
	Credit	Optimize Energy Performance	18
	Credit	Advanced Energy Metering	1
	Credit	Demand Response	2
	Credit	Renewable Energy Production	3
	Credit	Enhanced Refrigerant Management	1
	Credit	Green Power and Carbon Offsets	2

2 0 0 Materials and Resources 13

Y	Prereq	Storage and Collection of Recyclables	Required
Y	Prereq	Construction and Demolition Waste Management Planning	Required
	Credit	Building Life-Cycle Impact Reduction	5
	Credit	Building Product Disclosure and Optimization - Environmental Product Declarations	2
	Credit	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
	Credit	Building Product Disclosure and Optimization - Material Ingredients	2
2	Credit	Construction and Demolition Waste Management	2

12 0 0 Indoor Environmental Quality 16

Y	Prereq	Minimum Indoor Air Quality Performance	Required
Y	Prereq	Environmental Tobacco Smoke Control	Required
	Credit	Enhanced Indoor Air Quality Strategies	2
3	Credit	Low-Emitting Materials	3
	Credit	Construction Indoor Air Quality Management Plan	1
2	Credit	Indoor Air Quality Assessment	2
	Credit	Thermal Comfort	1
2	Credit	Interior Lighting	2
3	Credit	Daylight	3
1	Credit	Quality Views	1
1	Credit	Acoustic Performance	1

0 0 0 Innovation 6

	Credit	Innovation	5
	Credit	LEED Accredited Professional	1

0 0 0 Regional Priority 4

	Credit	Regional Priority: Specific Credit	1
	Credit	Regional Priority: Specific Credit	1
	Credit	Regional Priority: Specific Credit	1
	Credit	Regional Priority: Specific Credit	1

46 0 0 TOTALS Possible Points: 110

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



THANK YOU