

**OWNER / APPLICANT:**

JOHN & MARYAN, LLC  
140 BLEECKER STREET  
JERSEY CITY, NJ 07307

CHAIRPERSON, PLANNING BOARD

SECRETARY, PLANNING BOARD

MUNICIPAL ENGINEER

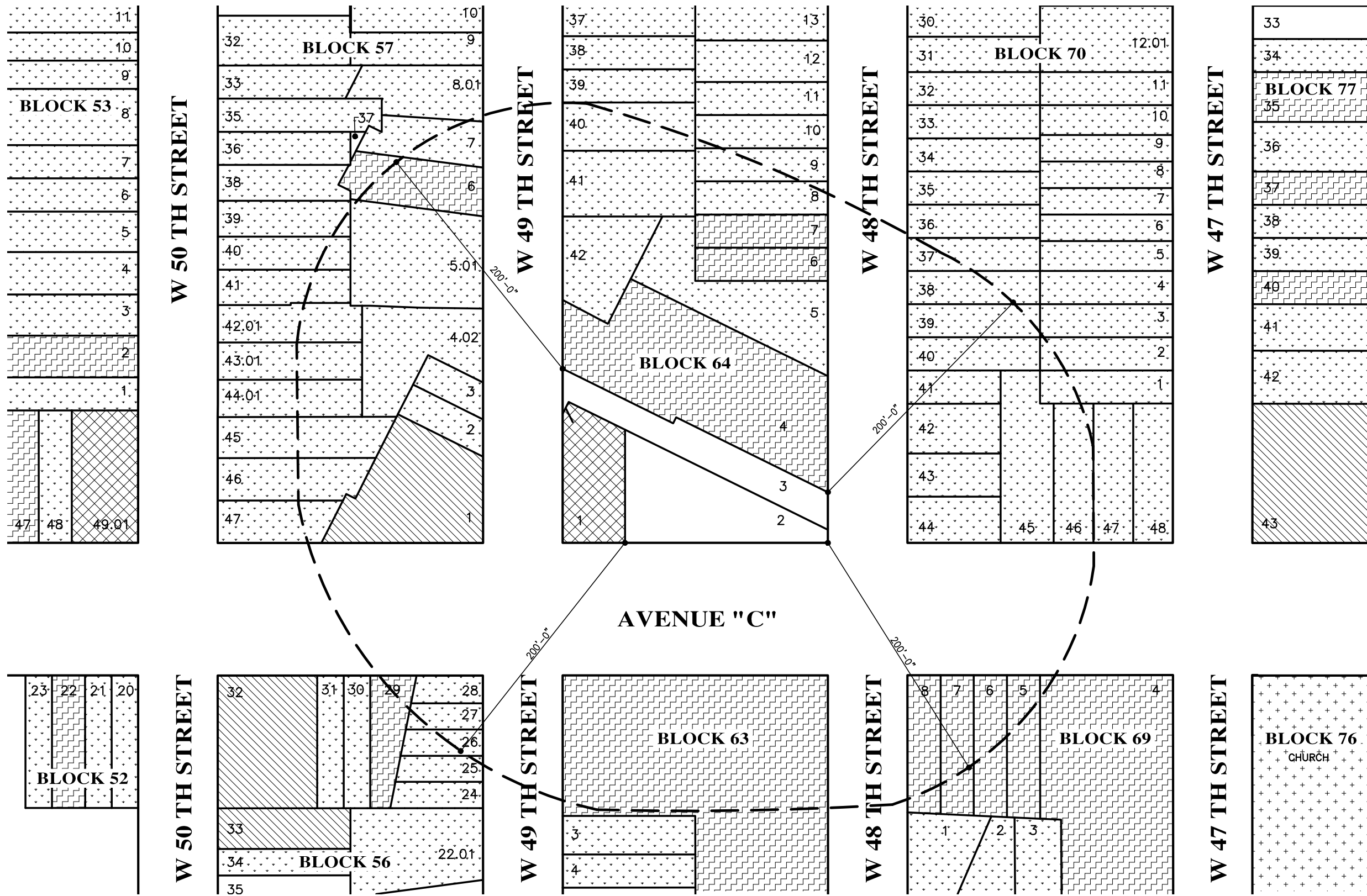
PRELIMINARY AND FINAL MAJOR  
SITE PLAN FOR RESIDENTIAL REDEVELOPMENT  
1012-1022 AVENUE C  
BLOCK 64, LOT 2&3  
BAYONNE, NEW JERSEY

| ZONING COMPARISON CHART                                                                                                                       |                                                                                                                                                                          |                                                                                                                                                                                                                                     |                                                                                                                           |                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|
| <ul style="list-style-type: none"><li>● ZONING DISTRICT:</li><li>● LOCATION:</li><li>● BLOCK:</li><li>● LOT(S):</li><li>● LOT AREA:</li></ul> |                                                                                                                                                                          | 1012-1022 AVENUE C REDEVELOPMENT PLAN<br>1012-1022 AVENUE C<br>64<br>2 & 3<br>12,473.8 SQ. FT.                                                                                                                                      |                                                                                                                           |                                                     |
| SITE INFORMATION TABLE                                                                                                                        |                                                                                                                                                                          |                                                                                                                                                                                                                                     |                                                                                                                           |                                                     |
|                                                                                                                                               | DESCRIPTION                                                                                                                                                              | REDEVELOPMENT PLAN STANDARDS                                                                                                                                                                                                        | PROPOSED                                                                                                                  | COMPLIES                                            |
| 1                                                                                                                                             | USE                                                                                                                                                                      | MULTIFAMILY DWELLINGS                                                                                                                                                                                                               | MULTIFAMILY DWELLINGS                                                                                                     | YES                                                 |
| 2                                                                                                                                             | <u>BULK REQUIREMENTS</u><br>MIN. LOT AREA<br>MIN. LOT FRONTAGE<br><br>FRONT YARD SETBACK<br><br>REAR YARD SETBACK (BLOCK 64 LOT 4)<br>SIDE YARD SETBACK (BLOCK 64 LOT 1) | LOT 2 & 3 AREA<br>153 FT. (AVENUE C)<br>63 FT. (WEST 48TH ST.)<br>34 FT. (WEST 49TH ST.)<br>0-5 FT. (AVENUE C)<br>0-5 FT. (WEST 48TH ST.)<br>0 FT. (WEST 49TH ST.)<br>0 FT. (GROUND FLOOR)/ 5 FT. (ABOVE)<br>3 FT. MIN. / 5 FT. MAX | LOT 2 & 3 AREA<br>153 FT.<br>38.17 FT.<br>33.24 FT.<br>0 FEET<br>0 FEET<br>20 FT.<br>0 FT. (GROUND)/5FT. (ABOVE)<br>4 FT. | YES<br>NO<br>YES<br>YES<br>YES<br>YES<br>YES<br>YES |
| 3                                                                                                                                             | MAXIMUM HEIGHT – STORIES<br>MAXIMUM HEIGHT – FEET                                                                                                                        | 5 STORIES<br>65 FT. (IF 1ST FLOOR USED FOR PARKING)                                                                                                                                                                                 | 5 STORIES<br>57.83 FT.                                                                                                    | YES<br>YES                                          |
| 4                                                                                                                                             | LOT COVERAGE                                                                                                                                                             | 95% WITH GREEN ROOF OFFSET<br>(COVERAGE INCREASES LOT COVERAGE AT 1:1)<br>PERMITTED = 100%                                                                                                                                          | 94.8%                                                                                                                     | YES                                                 |
| 5                                                                                                                                             | MIN. RESIDENTIAL UNIT SIZES                                                                                                                                              | STUDIO – 500 SQ. FT.<br>ONE–BEDROOM – 650 SQ. FT.<br>TWO–BEDROOM – 800 SQ. FT.                                                                                                                                                      | N/A<br>675 SQ. FT.<br>800 SQ. FT.                                                                                         | N/A<br>YES<br>YES                                   |
| 6                                                                                                                                             | OPEN SPACE/ RECREATION                                                                                                                                                   | 1871 SQ. FT. (15% LOT AREA)                                                                                                                                                                                                         | 1150 SQ. FT. (ROOF TERRACE)<br>2595 SQ. FT. (GREEN ROOF)                                                                  | YES<br>YES                                          |
| 7                                                                                                                                             | ROOFTOP AMENITY SETBACK                                                                                                                                                  | 5 FT.                                                                                                                                                                                                                               | 13 FT. & 24 FT.                                                                                                           | YES                                                 |
| 8                                                                                                                                             | <u>PARKING</u><br><br>RESIDENTIAL PARKING<br><br>BIKE STORAGE SPACES                                                                                                     | 40 (1.0 PER ST/1BR, 1.25 PER 2BR<br>LESS 4 EV ORDINANCE CREDIT)<br>22 (0.5 SPACE PER UNIT)                                                                                                                                          | 44 SPACES<br><br>22 SPACES                                                                                                | YES<br><br>YES                                      |
| 9                                                                                                                                             | CURB CUT                                                                                                                                                                 | 22 FEET – WITHIN 10 FT. OF BLOCK CENTERLINE                                                                                                                                                                                         | 22 FEET – 9’-11” FROM<br>BLOCK CENTERLINE                                                                                 | YES                                                 |
| 10                                                                                                                                            | SIGNS                                                                                                                                                                    | 125 SQ. FT. (3 SIGNS MAX.)                                                                                                                                                                                                          | 100 SQ. FT. (3 SIGNS)                                                                                                     | YES                                                 |

| LIST OF DRAWINGS |                                                             |
|------------------|-------------------------------------------------------------|
| T0.1             | TITLE AND INFORMATION SHEET                                 |
| C1.1             | SITE LAYOUT, DEMOLITION PLAN AND NOTES                      |
| C1.2             | SITE GRADING, UTILITIES PLAN AND NOTES                      |
| C1.3             | SITE LIGHTING, LANDSCAPING , ROOF LAYOUT, NOTES AND DETAILS |
| C1.4             | TRAFFIC PLAN AND NOTES                                      |
| C1.5             | WASTE MANAGEMENT PLAN                                       |
| C1.6             | SITE SOIL EROSION AND SEDIMENT CONTROL PLAN                 |
| C2.1             | SITE DETAILS                                                |
| C2.2             | SITE DETAILS                                                |
| C2.3             | GREEN ROOF DETAILS                                          |
| A1.1             | PROPOSED FIRST FLOOR PLAN                                   |
| A1.2             | PROPOSED FLOOR PLAN-FLOOR 2                                 |
| A1.3             | PROPOSED FLOOR PLAN-FLOOR 3-5                               |
| A1.4             | PROPOSED ROOF PLAN                                          |
| A2.1             | PROPOSED ELEVATIONS                                         |
| A2.2             | PROPOSED ELEVATIONS                                         |



PROJECT SITE  
1012-1022 AVENUE C  
BAYONNE, NJ



**SITE LEGEND -  
LAND USES**

|  |                                      |
|--|--------------------------------------|
|  | USE GROUP - RESIDENTIAL (1-2 FAMILY) |
|  | USE GROUP - MULTI-FAMILY             |
|  | USE GROUP - COMMERCIAL / OFFICE      |
|  | USE GROUP - COMMERCIAL / RESIDENTIAL |
|  | USE GROUP - CHURCH                   |

| RESIDENTIAL UNIT MIX |                 |          |
|----------------------|-----------------|----------|
| UNIT TYPE            | NUMBER OF UNITS | UNIT MIX |
| 1 BR.                | 24              | 60%      |
| 2 BR.                | 16              | 40%      |
|                      | 40              | 100%     |

RESIDENTIAL DEVELOPMENT  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

TITLE AND  
INFORMATION  
SHEET

| No. | Date     | Revision               |
|-----|----------|------------------------|
| 1   | 04/28/26 | UPDATED SURVEY/GENERAL |
| 2   |          |                        |
| 3   |          |                        |
| 4   |          |                        |
| 5   |          |                        |
| 6   |          |                        |
| 7   |          |                        |
| 8   |          |                        |
| 9   |          |                        |
| 10  |          |                        |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

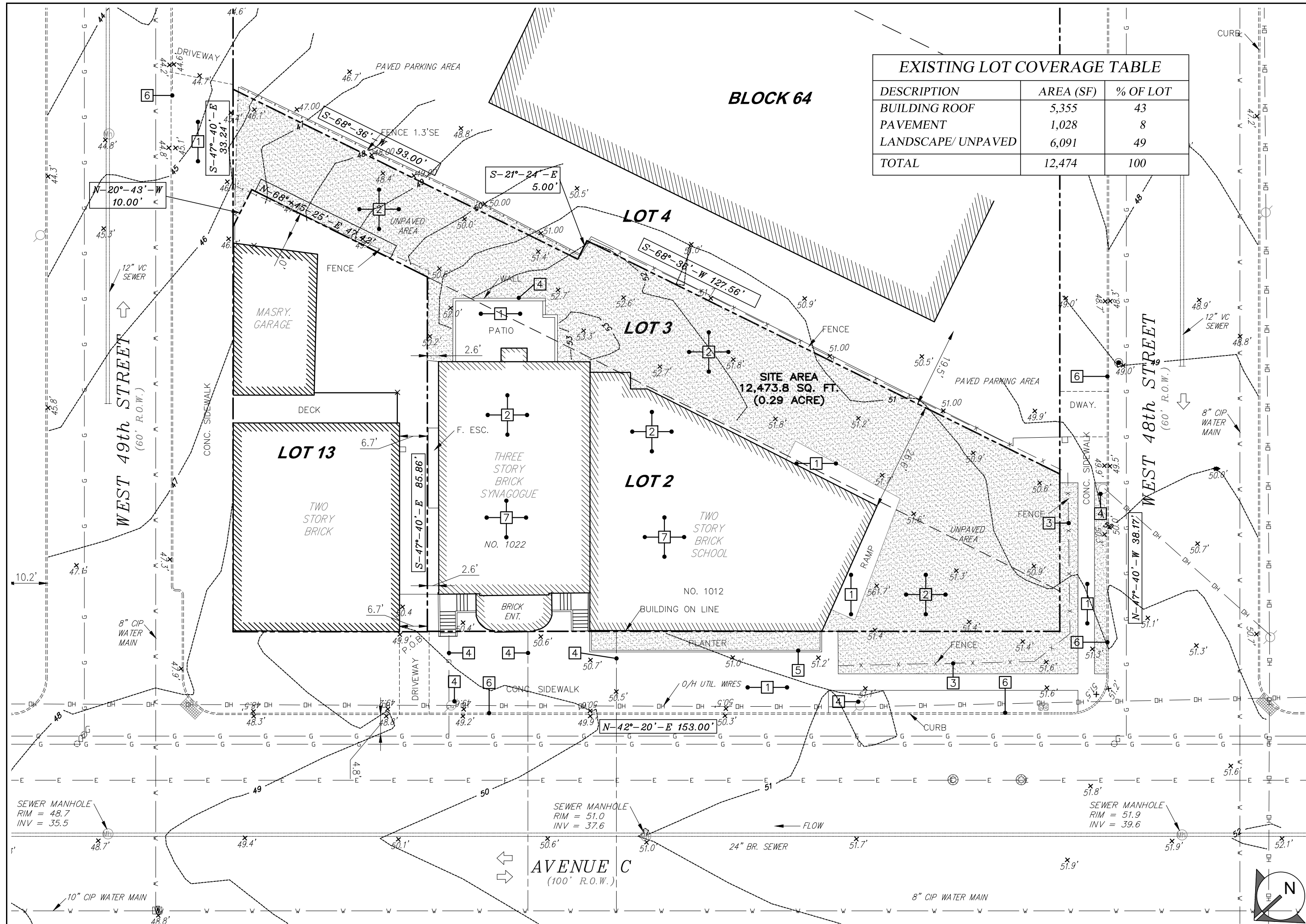
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A. SAMBADE R.A. # 10852

ARCHITECTURE • ENGINEERING • PLANNING  
EILEEN WEST EIGHTH STREET  
BAYONNE, NEW JERSEY 07002  
TEL (201)823-0779

**DAL**  
design  
group

Drawing No.  
**TO.1**





**A EXISTING SITE CONDITIONS / DEMOLITION PLAN**  
0 5 10 20 40 1" = 20'-0"

**DEMOLITION NOTES:**

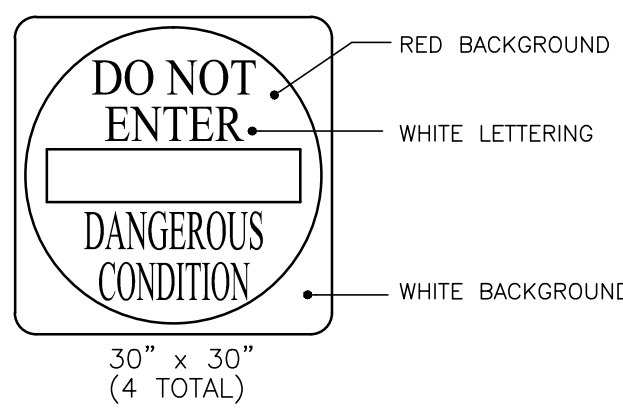
- IT IS THE INTENT OF THIS DRAWING THAT THE CONTRACTOR COMPLETELY REMOVE AND DISPOSE OF ALL ITEMS AND THEIR ASSOCIATED CONSTRUCTION STATED BY NOTATION OR INFERENCE WITHIN THE ENTIRE PROPOSED CONTRACT AREAS. PREPARE ALL DISTURBED AREA FOR NEW CONSTRUCTION. CONTRACTOR SHALL RESTORE DISTURBED AREAS TO MATCH ADJACENT CONSTRUCTION AND FINISH.
- THE EXTENT OF THE DEMOLITION SHALL BE COORDINATED IN DETAIL WITH THE EXTENT OF NEW CONSTRUCTION FOR THE SAME.
- CONTRACTORS SHALL COORDINATE WITH ALL OTHER TRADES TO ENSURE PROPER DEMOLITION TAKES PLACE.
- CONTRACTORS SHALL PROVIDE, AT ALL TIMES DURING CONSTRUCTION, PROPER MEANS OF EGRESS.
- ANY RELOCATION OF ELECTRIC POLES, AND STREET LIGHTS, CALL BOXES, TRAFFIC SIGNS, OR TRAFFIC LIGHTS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES OR AGENCY AND THE OWNER.
- UNDERGROUND UTILITY LOCATIONS WERE OBTAINED FROM VARIOUS SOURCES AND VERIFIED IN THE FIELD WHEREVER POSSIBLE. THEY ARE TO BE CONSIDERED IN APPROXIMATE LOCATIONS AND MUST BE VERIFIED BY THEIR OWNERS.
- BEFORE DIGGING CALL 1-800-272-1000 FOR UTILITY MAPPING.
- ELEVATIONS REFER TO NAVD83 DATUM.
- BEARINGS ARE RELATIVE AND DATUM IS ASSUMED IN A GENERAL NORTH DIRECTION.
- CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXCESS DIRT, FILL AND MATERIAL PER ALL APPLICABLE CODES AND REGULATIONS. DEMOLITION DEBRIS SHALL NOT BE REUSED ON SITE.
- CONTRACTOR SHALL EXCAVATE THE SITE AS REQUIRED TO ACCOMMODATE THE PROPOSED SCOPE OF WORK. CONTRACTOR SHALL PROPERLY SHORE ALL EXISTING ADJACENT CONSTRUCTION AND STRUCTURES. MEANS AND METHODS OF PROPOSED SHORING SHALL BE THE SOLE RESPONSIBILITY OF THE PROPOSED CONTRACTOR.
- EXISTING WATER SERVICE AND SANITARY SEWER SERVICE LATERALS TO BE ABANDONED SHALL BE REMOVED UP TO THE EXISTING CONNECTION AT THE STREET MAIN AND CAPPED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE AND LOCAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN ACCESS, VEHICLE ACCESS, ETC.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO, SIGNAGE, LIGHTS, FENCES, BARRIERS, AND PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL MEASURES.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
- LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

**DEMOLITION KEY NOTES:**

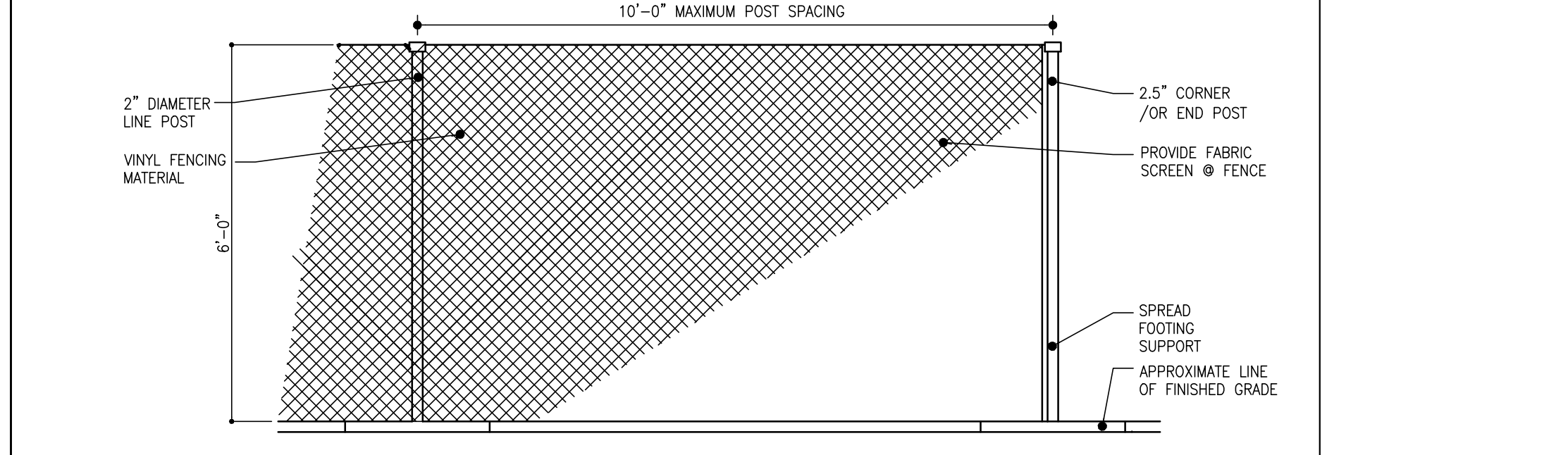
- CONTRACTOR SHALL REMOVE AND DISPOSE OF PROPERLY, IN THEIR ENTIRETY, ALL OF THE FOLLOWING EXISTING ITEMS: ALL ITEMS NOTED TO BE REMOVED SHALL BE, BY NOTATION OR INFERENCE, REMOVED AND DISPOSED OF IN THEIR ENTIRETY.
- CONCRETE SIDEWALK AND PAVEMENT AT PROPERTY FRONTAGE.
  - CLEAR AND GRUB AREA -- REGRADE AS REQUIRED, PREP FOR PROPOSED FINISHED SURFACE AND GRADING ELEVATIONS. SEE SITE LAYOUT PLAN.
  - EXISTING FENCING SYSTEM INCLUSIVE OF ASSOCIATED FOOTINGS.
  - ALL EXISTING UTILITY CONNECTIONS WHETHER OR NOT SHOWN ON PLAN, COORDINATE WITH UTILITY COMPANIES. CAP UTILITIES AT CURB.
  - EXISTING WALL INCLUSIVE OF ASSOCIATED FOOTINGS.
  - CONCRETE CURBING CONSTRUCTION AT PROPERTY FRONTAGE.
  - EXISTING BUILDING STRUCTURES INCLUSIVE OF ALL FOOTINGS AND FOUNDATIONS. PREPARE FOR FINISHED SUBGRADE AND BUILDING CONSTRUCTION.

**SITE LEGEND**

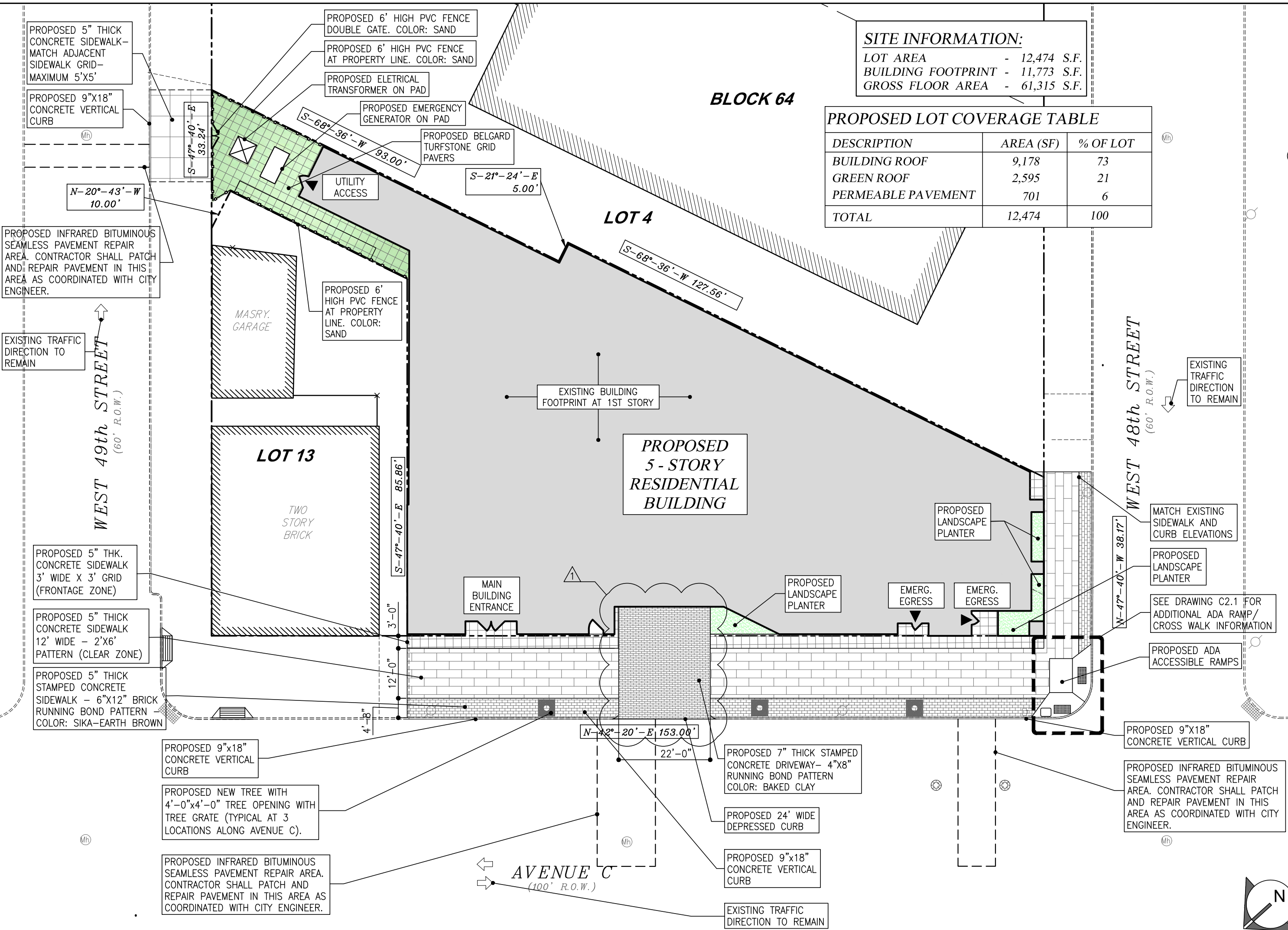
- |     |                             |      |                                               |
|-----|-----------------------------|------|-----------------------------------------------|
| --- | PROPERTY LINE               | (10) | PROP. CONTOUR                                 |
| --- | EXISTING CONTOUR            | o    | PROP. GAS LINE                                |
| --- | EXIST. GAS LINE             | o    | PROP. WATER LINE                              |
| --- | EXIST. WATER LINE           | o    | PROP. ELECTRIC LINE                           |
| --- | EXIST. ELECTRIC LINE        | o    | PROP. STORM SEWER (WIDTH BASED ON SEWER #)    |
| --- | EXIST. SANITARY SEWER LINE  | o    | PROP. SANITARY SEWER (WIDTH BASED ON SEWER #) |
| o   | EXIST. SPOT ELEVATIONS      | o    | PROP. SPOT ELEV.                              |
| o   | EXIST. TOP OF CURB ELEV.    | o    | PROP. TOP OF CURB ELEV.                       |
| o   | EXIST. BOTTOM OF CURB ELEV. | o    | PROP. BOTTOM OF CURB ELEV.                    |
| o   | EXIST. INLET                | o    | PROP. INLET                                   |
| o   | EXIST. MANHOLE              | o    | PROP. MANHOLE                                 |
| o   | PROP. POINT OF BEGINNING    | o    | PROP. POINT OF BEGINNING                      |
| o   | EXIST. TRAFFIC SIGN         | o    | PROP. TRAFFIC SIGN                            |
| o   | EXIST. GENERAL SIGN         | o    | PROP. GENERAL SIGN                            |
| o   | EXIST. UTILITY BOX          | o    | PROP. UTILITY BOX                             |
| o   | EXIST. GAS VALVE            | o    | PROP. GAS VALVE                               |
| o   | EXIST. WATER VALVE          | o    | PROP. WATER VALVE                             |
| o   | EXIST. FIRE HYDRANT         | o    | PROP. FIRE HYDRANT                            |
| o   | EXIST. DRAIN                | o    | PROP. DRAIN                                   |
| o   | EXIST. LAMP POST            | o    | PROP. LAMP POST                               |
| o   | EXIST. UTILITY POLE         | o    | PROP. UTILITY POLE                            |
| o   | EXIST. TRAFFIC SIGNAL       | o    | PROP. TRAFFIC SIGNAL                          |
| o   | EXIST. CURB                 | o    | PROP. CURB                                    |
| o   | EXIST. COBRA LIGHT POLE     | o    | PROP. CURB                                    |



**1 TEMPORARY CONSTRUCTION FENCE**  
3/16" = 1'-0"



**2 PROPOSED CONSTRUCTION SIGNAGE**  
N.T.S.



**B PROPOSED SITE LAYOUT PLAN**  
0 5 10 20 40 1" = 20'-0"

**SITE PLAN NOTES:**

- SITE PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY: CAUFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, DATED: OCTOBER 08, 2022.
- THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- ALL SITE WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF NIDOT STANDARD SPECIFICATIONS, LATEST EDITION. ALL CONCRETE SHALL BE CLASS B-1.
- THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL ITEMS AND THEIR ASSOCIATED CONSTRUCTION STATED BY NOTATION OR INFERENCE WITHIN THE PROPOSED SCOPE OF WORK AREA. PREPARE ALL DISTURBED AREAS FOR NEW CONSTRUCTION. CONTRACTOR SHALL RESTORE DISTURBED AREAS TO MATCH ADJACENT CONSTRUCTION AND FINISH.
- ALL PROPERTY CORNERS OR MONUMENTS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A NEW JERSEY LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF THE EXCESS MATERIALS EXCAVATED OF WHATEVER NATURE AT THEIR OWN EXPENSE. THE OWNER IS NOT OBLIGATED TO SUPPLY A DISPOSAL SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING OF STORAGE AND STAGING AREAS AT NO ADDITIONAL COST TO THE OWNER.
- APPROPRIATE CONSTRUCTION SIGNAGE SHALL BE INSTALLED FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SIGNAGE SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL BE BASED DURING PERIODS OF INACTIVITY.
- ALL UTILITY STRUCTURES (UTILITY BOXES, OIL FILL CAPS, WATER VALVES, GAS VALVES, BILCO DOORS, ELECTRICAL VAULTS AND ANY OTHER APPURTENANCES) WITHIN THE PROPOSED SIDEWALK RECONSTRUCTION SHALL BE RESET TO CONFORM TO THE PROPOSED FINISHED GRADE.
- CONTRACTOR'S FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND ACTUAL FIELD CONDITIONS. SHOULD ANY DISCREPANCIES EXIST, CONTRACTOR'S SURVEYOR SHALL NOTIFY OWNER IN WRITING PRIOR TO COMMENCEMENT OF WORK. TOWNSHIP AND CONSULTANT TEAM ASSUME NO RESPONSIBILITY FOR WORK PERFORMED PRIOR TO FIELD VERIFICATION OF STAKING PLAN.
- CONTRACTOR SHALL LAYOUT AND STAKE IN THE FIELD ALIGNMENT OF ALL PUBLIC CURBS, PAVEMENTS AND OTHER IMPROVEMENTS FOR REVIEW BY THE MUNICIPALITY. CONTRACTOR MAY NOT PROCEED WITH CONSTRUCTION OF IMPROVEMENTS UNTIL FINAL APPROVAL OF THE LAYOUT IS GRANTED BY THE MUNICIPALITY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, PRIOR TO COMMENCING WORK. DO NOT WILLFULLY PROCEED WITH WORK IF ANY DISCREPANCIES ARE DISCOVERED, OTHERWISE ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ITSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES OR STRUCTURES.
- THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING STRUCTURAL DESIGN, AS WELL AS PLANS AND ELEVATIONS, APPROPRIATE TO ENSURE DESIGN INTENT IS MET.
- CONTRACTOR SHALL TAKE CARE TO PROTECT FROM CONSTRUCTION ALL EXISTING TREES, STRUCTURES UNDER/ABOVE GROUND SURFACE THAT ARE TO REMAIN. ANY DAMAGE DONE TO THESE DURING CONSTRUCTION MUST BE REPLACED AT CONTRACTOR'S OWN COST WITHIN THE CONSTRUCTION PERIOD.
- CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION FROM THE APPROPRIATE LOCAL, STATE AND FEDERAL AGENCIES.
- CONTRACTOR SHALL LEAVE THE SITE EACH DAY IN AN ORDERLY FASHION AND SHALL REMOVE ALL LITTER, REFUSE, DEBRIS AND HAZARDOUS MATERIALS FROM THE SITE DAILY IN COMPLIANCE WITH APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL TAKE MEASURES TO LIMIT THE AMOUNT OF SOIL LEAVING THE SITE ON EQUIPMENT. ANY DEBRIS ON ROAD SURFACES OR SIDEWALK SHOULD BE CLEANED DAILY.
- THE CONTRACTOR MUST PROVIDE A PORTABLE RESTROOM UNIT FOR THE DURATION OF THE PROJECT IN A LOCATION APPROVED BY THE OWNER.
- CONTRACTOR SHALL BE REQUIRED TO SAFELY SECURE THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION AND FINAL APPROVAL. ALL COSTS ASSOCIATED WITH SECURING THE SITE, INCLUDING TEMPORARY FENCING, SHALL BE INCLUDED IN THE VARIOUS ITEMS ABOVE. ANY DAMAGE OF VANDALISM (SUCH AS FOOTSTEPS/HAND PRINTS IN SIDEWALK, BROKEN AND DAMAGED FURNITURE, ETC.) THAT OCCURS DURING THE CONSTRUCTION PERIOD WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED DUE TO LACK OF SECURED SITE. ALL COSTS ASSOCIATED WITH WORK TO REMEDY THE DAMAGE SHALL BE BORNE BY THE CONTRACTOR.
- ALL DISTURBED SHRUBS, FENCING, SIGNS, MAIL BOXES, DRIVES, ETC SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS RESTORATION, UNLESS SPECIFIED ELSEWHERE.
- NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ENGINEER. LAYOUT THE WORK AS DIMENSIONED OR STATIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF NO GREATER THAN 5% AND A CROSS SLOPE NO GREATER THAN 2% (PER ADAAG) UNLESS NOTED OTHERWISE ON GRADING PLAN.
- ALL NEW CURBS AND PAVEMENTS SHALL MEET EXISTING CURBS & PAVEMENTS SMOOTH AND FLUSH.
- NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND /OR GRADE DIFFERENCES EXISTS THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. DO NOT PROCEED WITH CONSTRUCTION AND ORDERING MATERIALS WHEN INFORMATION IS INCOMPLETE OR OTHER DISCREPANCIES MAY EXIST. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF SUCH CONDITIONS. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR POWER AND WATER NEEDED DURING CONSTRUCTION.



**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

**SITE LAYOUT,  
DEMOLITION  
PLAN  
AND NOTES**

| No. | Date     | Revision       |
|-----|----------|----------------|
| 1   | 04/28/26 | UPDATED SURVEY |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

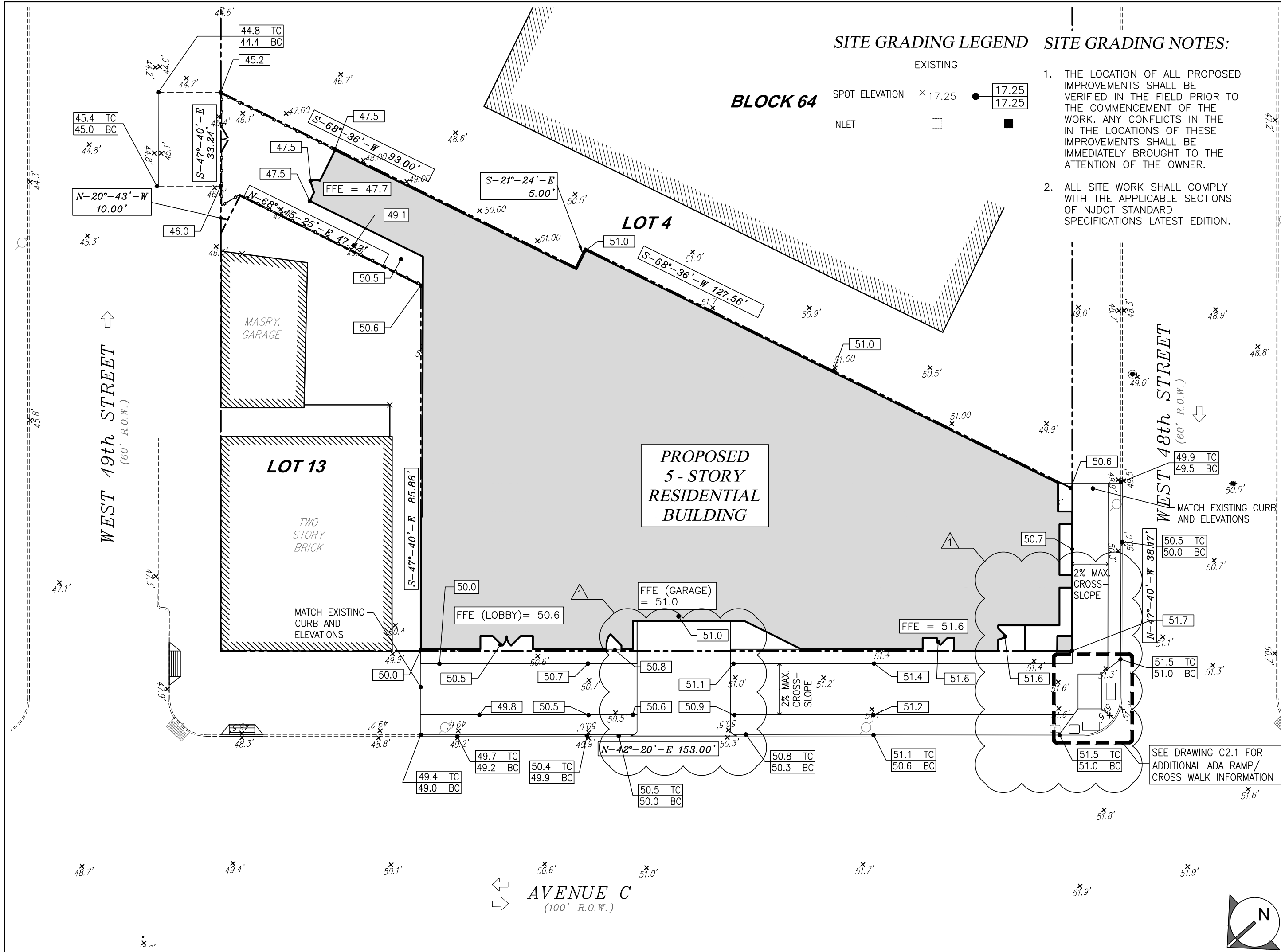
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ARCHITECTURE • ENGINEERING • PLANNING  
ELEVEN WEST EIGHTH STREET  
BAYONNE, NEW JERSEY 07002  
TEL (201)823-0779

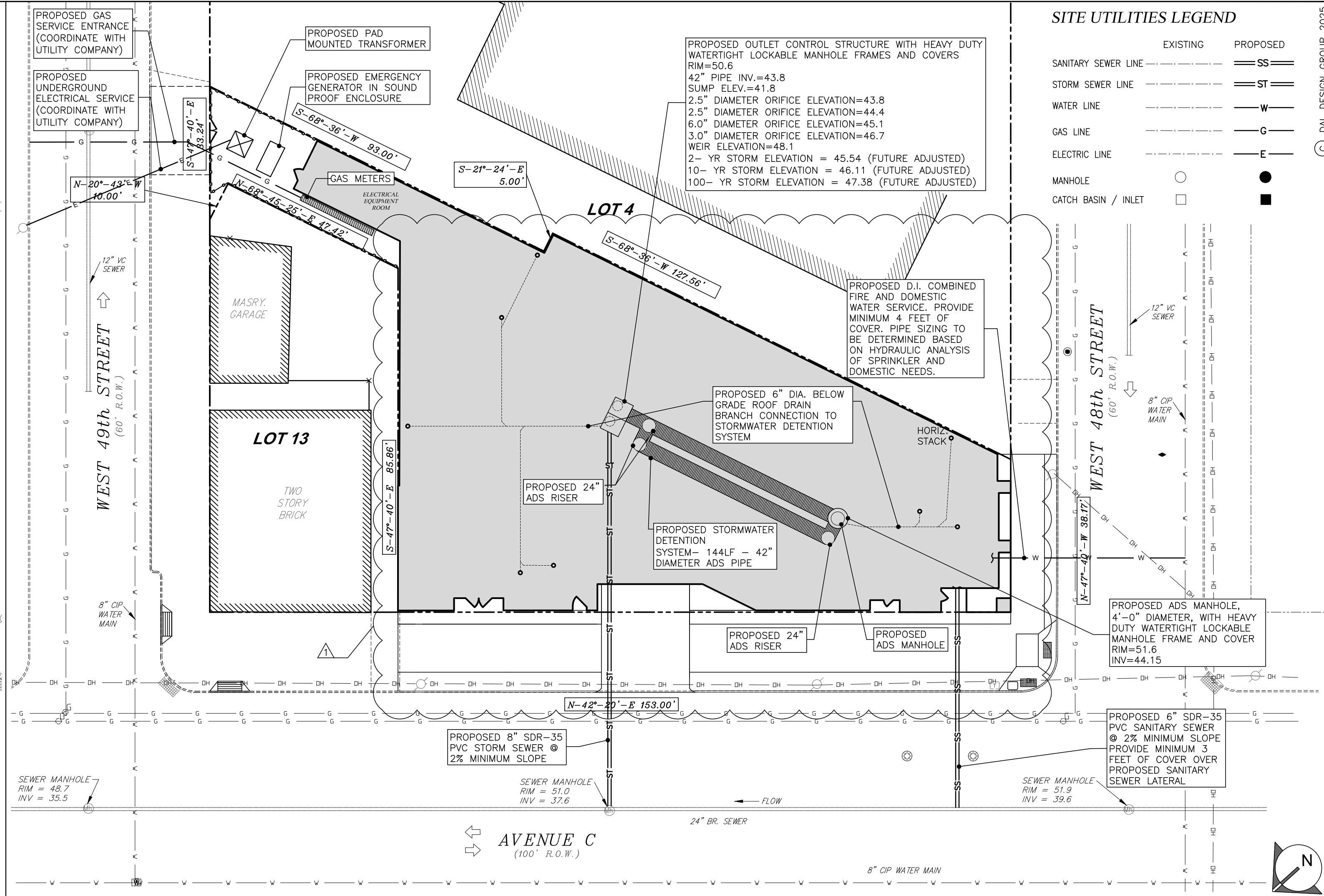
**DAL** design group

Drawing No. **C1.1**





**A PROPOSED SITE GRADING PLAN**



**B PROPOSED SITE UTILITIES LAYOUT PLAN**

**SITE GRADING NOTES:**

- SITE UTILITIES PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY CAUFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
- RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1996 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON NAVD83 DATUM.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- UTILIZE A MOBILE SWEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE HAUL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. STREETS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT EACH DAY.
- IN ALL CASES, WALKS & PARKING AREAS TO BE PITCHED TOWARD DRAINAGE STRUCTURES TO PREVENT PONDING.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION.
- ALL REPAIRS AND NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT EXISTING LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADE AND SURFACE FINISHES, WHERE NOTED.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/INVERT ELEVATIONS AT REGULAR INTERVALS, DISTANCES TO CENTER OF PIPE/CORNER OF OBJECT FROM A SURVEYABLE POINT, LOCATION AND TYPES OF BENDS IN PIPES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY DISPLAYED ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.

**SITE UTILITIES NOTES:**

- SITE UTILITIES PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY CAUFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
- THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE, TAKEN FROM VARIOUS SOURCES, AND NOT GUARANTEED AS TO ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY UTILITY "ONE-CALL" NUMBER (811 OR 800-272-1000) PRIOR TO ANY EXCAVATION AT THE SITE AND TO LOCATE ALL UTILITIES, WHETHER OR NOT INDICATED ON THIS PLAN, IN PLAN AND ELEVATION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, NO CONSTRUCTION ACTIVITY MAY PROCEED UNTIL ALL UTILITIES HAVE BEEN MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES OR PROVIDERS.
- ALL EXISTING UTILITY LATERALS WITHIN THE SITE FROM EXISTING BUILDINGS SHALL BE DISCONNECTED AT THE EXISTING MAIN AND SHALL BE REMOVED.
- WATER SERVICE AND SANITARY SEWER SERVICE SHALL GENERALLY BE SEPARATED BY A HORIZONTAL DISTANCE OF TEN FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SANITARY SEWER SHALL BE IN SEPARATE TRENCHED WITH THE SANITARY SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER SERVICE PIPE.
- WHERE LESS THAN 18-IN OF VERTICAL AND 10-FT OF HORIZONTAL CLEARANCE IS PROVIDED BETWEEN A SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6-IN OF 4500 PSI. CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10-FT BEYOND THE CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE USED IN LIEU OF CONCRETE ENCASEMENT.
- THE FINAL LOCATION OF PROPOSED UNDERGROUND ELECTRIC, TELEPHONE, CATV, AND GAS SERVICES AND CONNECTIONS SHALL BE AS DETERMINED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE WORK.
- ENTIRE LENGTH OF SANITARY SEWER LATERALS SHALL BE BED IN A MINIMUM OF 6" OF CLEAN CRUSHED STONE PLACED UP TO THE SPRING LINE OF THE PIPE.
- NEW SANITARY SEWER LATERALS SHALL BE INSPECTED BY CLOSED CIRCUIT INTERNAL VIDEO INSPECTION, LOW PRESSURE AIR TESTED.
- ALL CONSTRUCTION WORK RELATED TO THE INSTALLATION OF SANITARY LATERAL, WATER SERVICE AND STORM SEWER MUST BE COMPLETED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND STANDARD SPECIFICATIONS/CONSTRUCTION DETAILS OF THE RELEVANT UTILITY COMPANIES.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON NAVD83 DATUM.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/INVERT ELEVATIONS AT REGULAR INTERVALS, DISTANCES TO CENTER OF PIPE/CORNER OF OBJECT FROM A SURVEYABLE POINT, LOCATION AND TYPES OF BENDS IN PIPES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY DISPLAYED ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.
- UNDERLAY ALL UTILITIES WITH MINIMUM 2" OF 3" CRUSHED STONE. ON SITE MATERIAL MAY NOT BE USED FOR BACKFILL. A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY SHALL INSPECT AND AUTHORIZE ALL EARTHWORK/BACKFILL OPERATIONS.

| AVERAGE DAILY WATER LOAD |          |              |
|--------------------------|----------|--------------|
| USE                      | PROPOSED | PROPOSED GPD |
| 1-BEDROOM                | 24 UNITS | 3,600        |
| 2-BEDROOM                | 16 UNITS | 3,600        |
| TOTAL                    | 40 UNITS | 7,200        |

NOTES: 1. PER N.J.A.C. 7:10-12.6, 75 GPD PER PERSON FOR MULTIFAMILY DWELLINGS  
2. STUDIO, 1-BEDROOM, ASSUMED TO BE 2 PERSONS.  
3. 2-BEDROOM, ASSUMED TO BE 3 PERSONS.

| AVERAGE DAILY SEWER LOAD |          |              |
|--------------------------|----------|--------------|
| USE                      | PROPOSED | PROPOSED GPD |
| 1-BEDROOM                | 24 UNITS | 3,600        |
| 2-BEDROOM                | 16 UNITS | 3,600        |
| TOTAL                    | 40 UNITS | 7,200        |

NOTES: 1. PER N.J.A.C. 7:144-23.3, 150 GPD ARE REQUIRED FOR STUDIO/1-BEDROOM, UNITS AND 225 GPD ARE REQUIRED FOR 2-BEDROOM UNITS.



**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

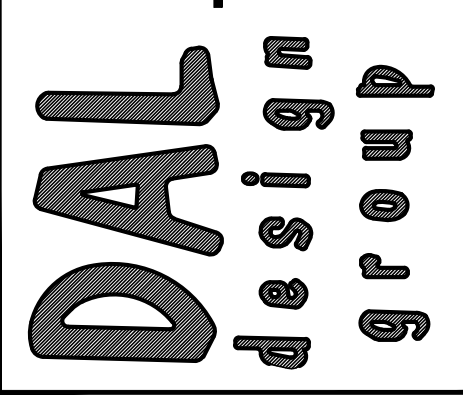
**SITE GRADING,  
UTILITIES PLAN  
AND DETAILS**

| Revision                | Date | No. |
|-------------------------|------|-----|
| 04/28/26 UPDATED SURVEY |      |     |

| Date             | Scale | AS NOTED | Drawn | Checked | Project   |
|------------------|-------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 |       |          |       |         | 202211-SP |

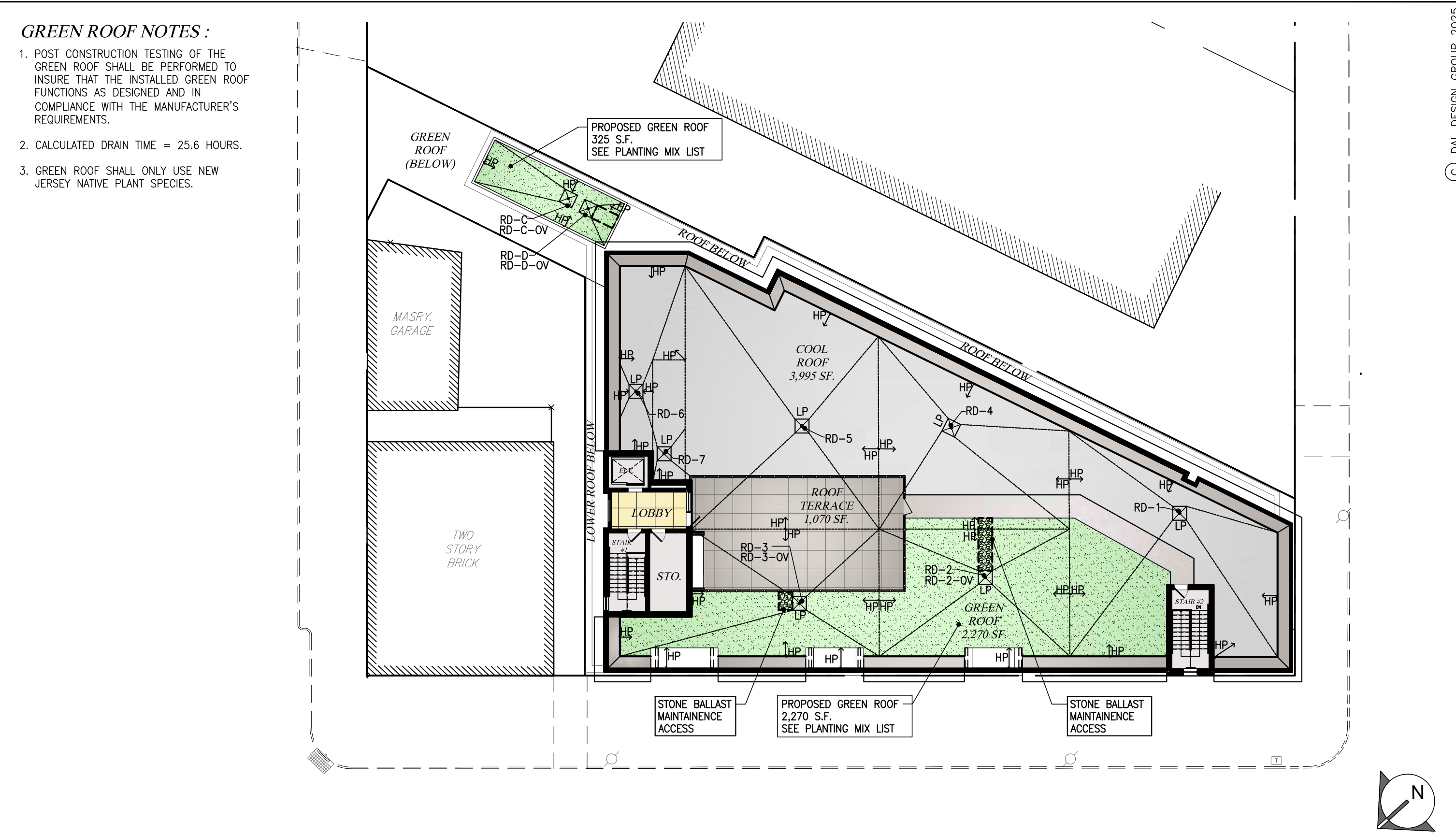
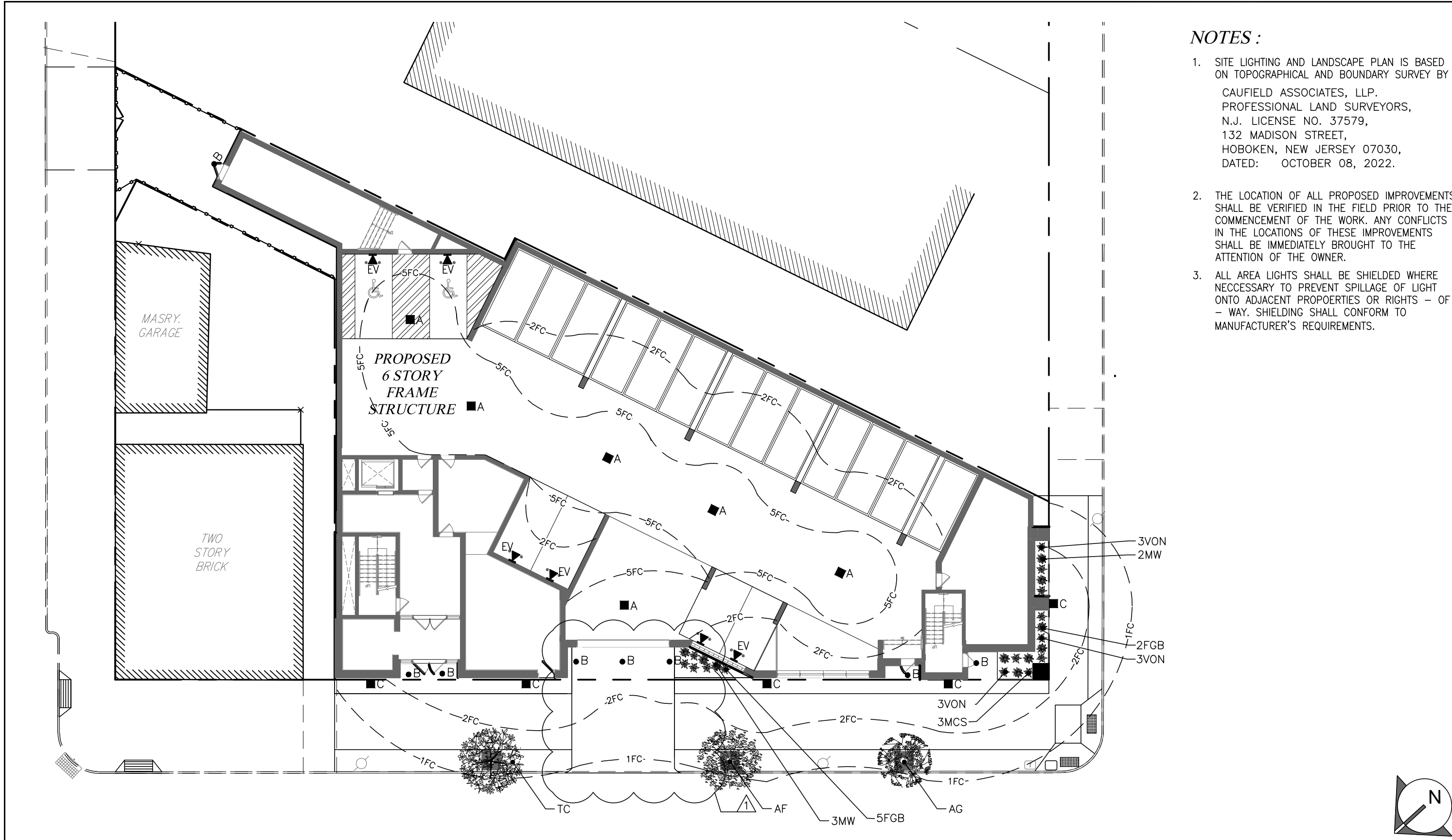
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Drawing No. **C1.2**





**A PROPOSED SITE LIGHTING LAYOUT AND LANDSCAPING PLAN**

| SITE LIGHTING SCHEDULE |          |                                            |               |                   |        |                                       |
|------------------------|----------|--------------------------------------------|---------------|-------------------|--------|---------------------------------------|
| TYPE                   | QUANTITY | DESCRIPTION                                | INPUT POWER   | COLOR TEMPERATURE | FINISH | MOUNTING DETAILS                      |
| A                      | 6        | LUMARK RPOC GARAGE PARKING COOPER LIGHTING | 54 WATT LED   | 4000K             | WHITE  | CEILING MOUNTED 10" HEIGHT            |
| B                      | 5        | LND3 30/05 AR LSS LITHONIA LIGHTING        | 6.27 WATT LED | 4000K             | —      | RECESSED, CEILING MOUNTED, 10" HEIGHT |
| C                      | 4        | INVUE ENV-SATB-730U-74FT COOPER LIGHTING   | 25.4 WATT LED | 4000K             | BRONZE | WALL MOUNTED 10" HEIGHT               |

- NOTES:**
- "D" FIXTURES SHALL BE SHIELDED AT ALLEY WAY TO PREVENT SPILLAGE ONTO ADJACENT LOTS.
  - ALL WALL MOUNTED "D" FIXTURES AT ALLEYS, SIDE YARDS AND REAR YARDS SHALL BE MOTION ACTIVATED.

| LANDSCAPING SCHEDULE |          |                                         |                            |             |           |                                                                       |
|----------------------|----------|-----------------------------------------|----------------------------|-------------|-----------|-----------------------------------------------------------------------|
| SYMBOL               | QUANTITY | BOTANICAL NAME                          | COMMON NAME                | CALIPER     | HEIGHT    | COMMENTS                                                              |
| TC                   | 1        | TILIA CORDATA                           | LITTLE LEAF LINDEN         | 2" - 2-1/2" | 8' - 10'  | BB, SYMMETRICAL LEADER INTACT, LIMBED TO 6-7' CLEAR AREA AROUND TRUNK |
| AG                   | 1        | AMELANCHIER X GRANDIFLORA 'ROBIN HILL'  | PINK SHADBLOW SERVICEBERRY | 2" - 2-1/2" | 8' - 10'  | BB, SYMMETRICAL LEADER INTACT, LIMBED TO 6-7'                         |
| AF                   | 1        | ACER GINNALA 'FLAME'                    | AMUR MAPLE                 | 2" - 2-1/2" | 8' - 10'  | BB, SYMMETRICAL LEADER INTACT, LIMBED TO 6-7'                         |
| FGb                  | 7        | BUXUS SINICA INSULARIS 'FRANKLIN'S' GEM | FRANKLIN'S GEM BOXWOOD     | —           | 12" - 18" | DENSE & WELL ESTABLISHED                                              |
| MW                   | 5        | WEIGELA FLORIDA 'ELVERA'                | MIDNIGHT WINE WEIGELA      | —           | 10" - 12" | DENSE & WELL ESTABLISHED                                              |
| MCS                  | 3        | SPIRAEA JAPONICA 'WALBUMA'              | MAGIC CARPET SPIREA        | —           | 12" - 15" | DENSE & WELL ESTABLISHED                                              |
| VON                  | 9        | VIBURNUM OPULUS 'NANA'                  | DWARF CRANBERRY BUSH       | —           | 12" - 18" | DENSE & WELL ESTABLISHED                                              |

- NOTES:**
- ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE REDEVELOPER.

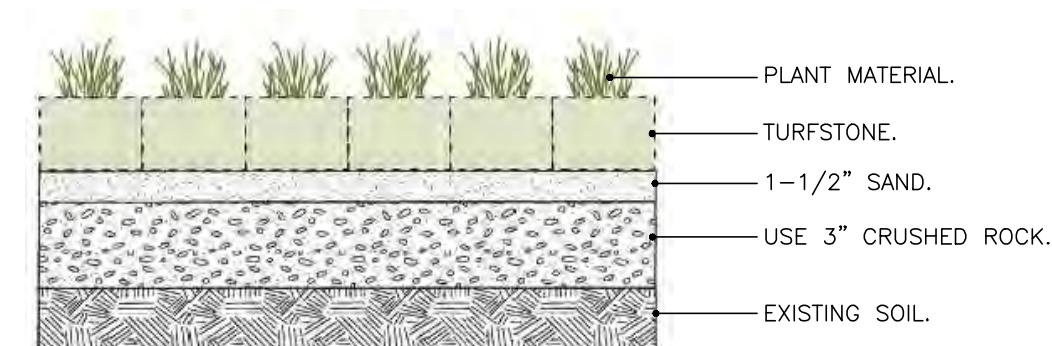
**B PROPOSED ROOF LAYOUT PLAN**

**PLANTING MIX LIST - GREEN ROOF**

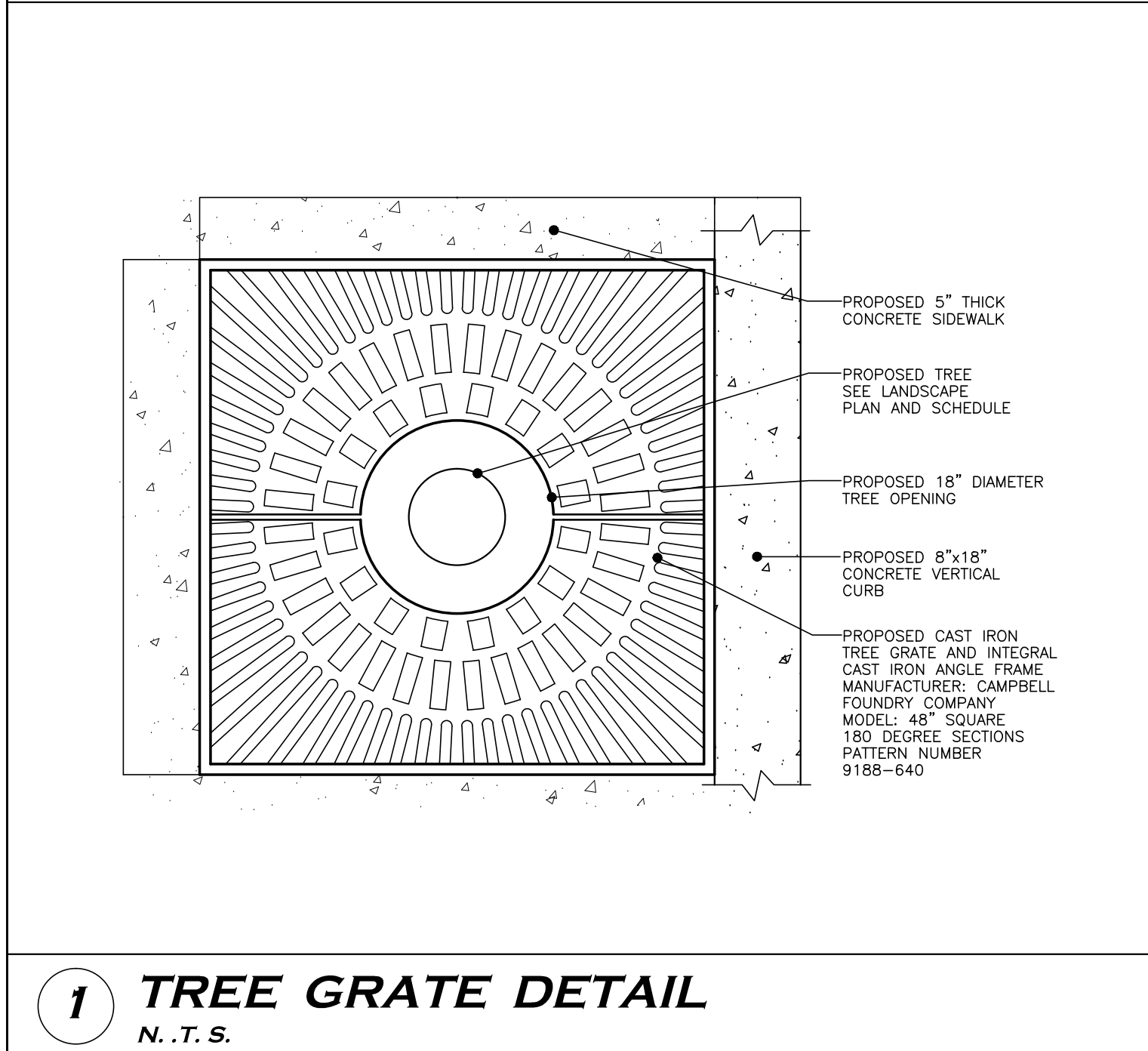
| INSTA GREEN® SEDUM CARPET-HYDROTECH (48" WIDE X 75" LONG) | VARIETIES                     |
|-----------------------------------------------------------|-------------------------------|
|                                                           | SEDUM ALBUM "CORAL CARPET"    |
|                                                           | SEDUM REFLEXUM "BLUE SPRUCE"  |
|                                                           | SEDUM SPURIUM "FULDAGLUT"     |
|                                                           | SEDUM SPURIUM "TRICOLOR"      |
|                                                           | SEDUM SPURIUM "GOLDEN CARPET" |

| GREEN ROOF AREA REQUIREMENT     |          |
|---------------------------------|----------|
| REQUIRED PER REDEVELOPMENT PLAN | PROVIDED |
| 25% OF ROOF AREA                | 2,595 SF |
| 11,773 SF X 0.25 = 2,943 SF     |          |

**TURFSTONE GRID PAVER** : COLOR: GRAY



**TURFSTONE GRID PAVER** : COLOR: GRAY



- PLANTING NOTES:**
- ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE REDEVELOPER.
  - DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
  - NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
  - STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
  - NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE ARCHITECT/ ENGINEER HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
  - THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
  - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
  - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
  - ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 — JUNE 15 OR AUGUST 15 — NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
  - ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT/ ENGINEER BEFORE, DURING, AND AFTER INSTALLATION. THE ARCHITECT/ENGINEER MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE ARCHITECT/ ENGINEER RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE ARCHITECT/ENGINEER OR OWNER.
  - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING, 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
  - ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.

- CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- IF CONFLICTS ARISE BETWEEN THE ACTUAL SIZE OF PLANTING AREAS ON THE SITE AND THE DRAWINGS, CONTACT THE ARCHITECT/ENGINEER FOR RESOLUTION.
- GROUNDCOVERS AND SHRUBS ARE TO BE TRIANGULARLY SPACED UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PEST OR PLANT DISEASES. PRE-SELECTED OR "ARCHITECT/ ENGINEER-TAGGED" PLANT MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIAL PER THE SPECIFICATIONS.
- THE ACTUAL LOCATION OF PLANT MATERIAL MAY VARY DUE TO FIELD CONDITION. FINAL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BY THE ARCHITECT/ ENGINEER BEFORE PITS ARE DUG. NO PLANTS SHALL BE PUT INTO GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE ARCHITECT / ENGINEER.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY OR MORE OFTEN DURING THE FIRST GROWING SEASON. THE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ANY PLANT DEEMED NOT AVAILABLE BY THE CONTRACTOR SHALL BE NOTED IN THE BID AS A CONDITION OF BID. FAILURE TO QUALITY AVAILABILITY OF SPECIFIED MATERIAL SHALL MAKE THE CONTRACTOR RESPONSIBLE FOR SUPPLYING ALL MATERIALS AS SPECIFIED.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS SHREDDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA. IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
- WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
- CLEAN SOIL FILL IN LANDSCAPE AREAS: LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5-7.

Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**SITE LIGHTING,  
LANDSCAPING,  
PROPOSED ROOF  
LAYOUT AND  
DETAILS**

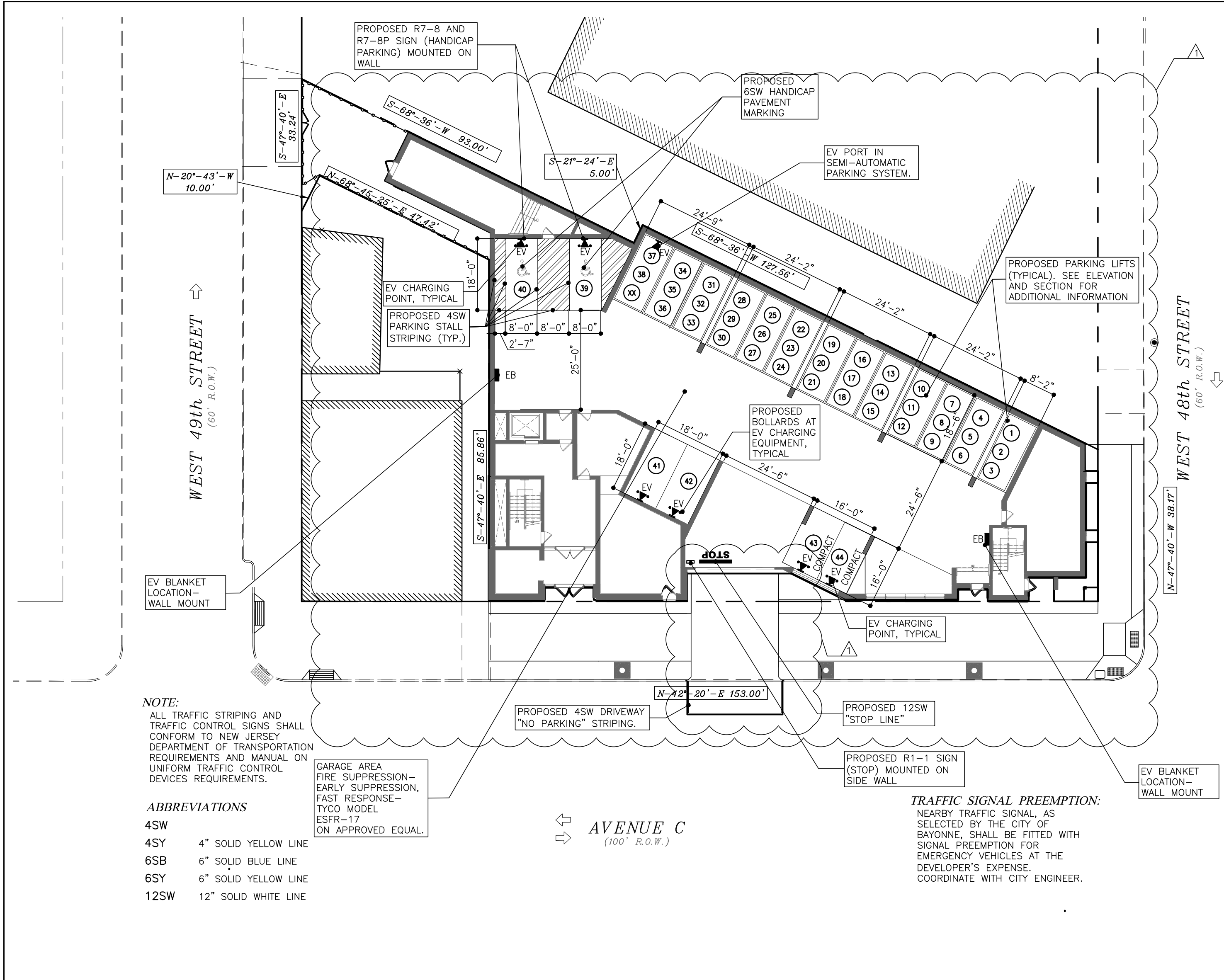
| Revision                | Date | No. |
|-------------------------|------|-----|
| 04/28/26 UPDATED SURVEY |      |     |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

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Drawing No. **C1.3**





**A PROPOSED SITE TRAFFIC CONTROL PLAN**  
1" = 20'-0"

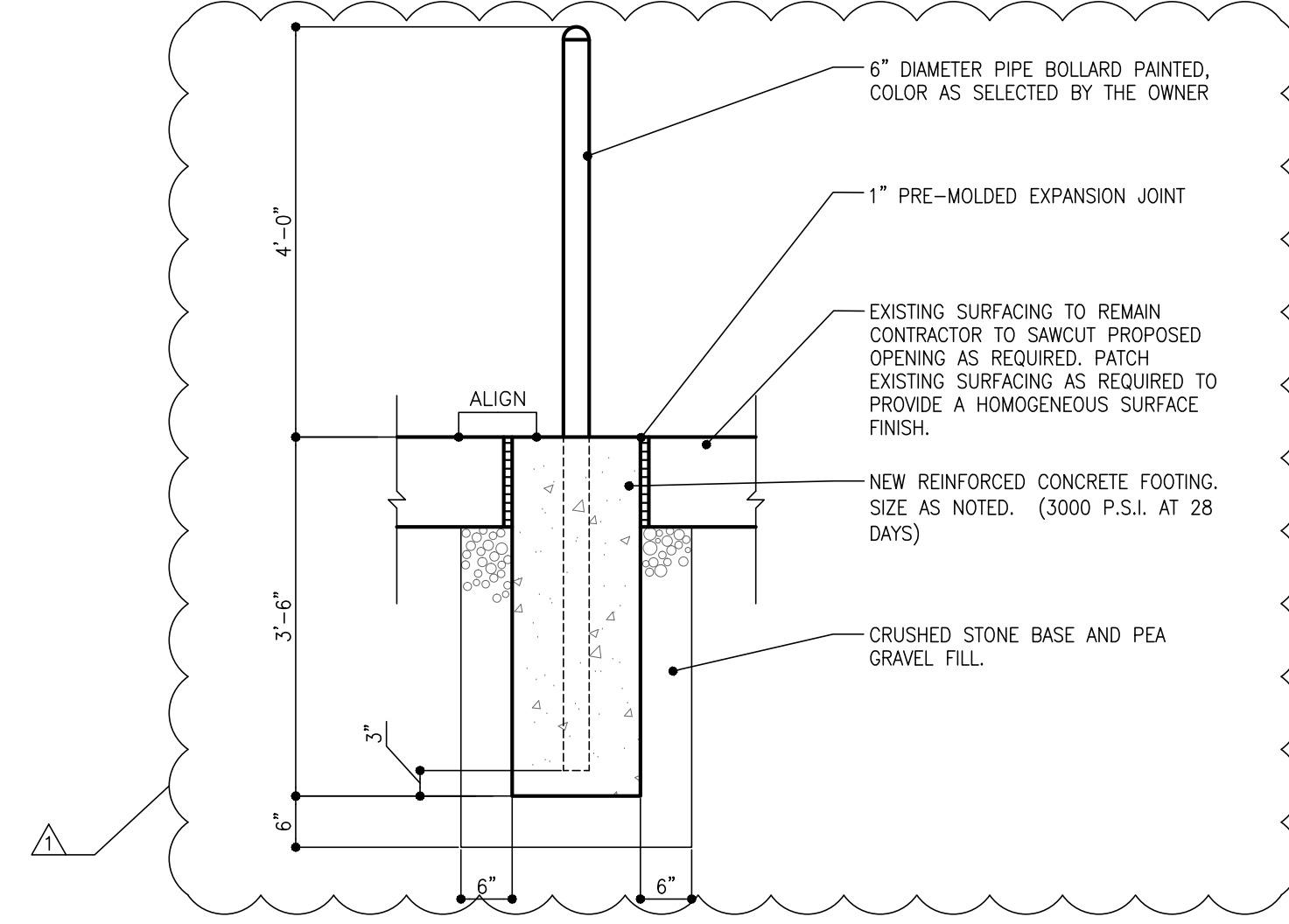


- NOTES :**
1. TRAFFIC CONTROL, AREA LIGHTING AND LANDSCAPE PLANS BASED ON TOPOGRAPHICAL BY CAUFIELD ASSOCIATES, LLP. PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
  2. THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
  3. ALL TRAFFIC STRIPING AND TRAFFIC CONTROL SIGNS SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES REQUIREMENTS.
  4. ALL AREA LIGHTS SHALL BE SHIELDED WHERE NECESSARY TO PREVENT SPILLAGE OF LIGHT ONTO ADJACENT PROPERTIES OR RIGHTS - OF - WAY. SHIELDING SHALL CONFORM TO MANUFACTURER'S REQUIREMENTS.
  5. ALL SHRUB AND LANDSCAPED AREAS SHALL BE MULCHED CONTINUOUSLY WITH A MINIMUM OF 4" SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED, AND AS DIRECTED BY THE ENGINEER. MULCH ALL PINES WITH HARDWOOD BARK MULCH.
  6. TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN ONE INCH, OR ANY UNDERSIRABLE MATERIAL. TOPSOIL SHALL CONTAIN 5% ORGANIC MATTER AND SHALL HAVE A PH OF 5.0 TO 6.5.
  7. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.
  8. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL TREE CROTCH APART.

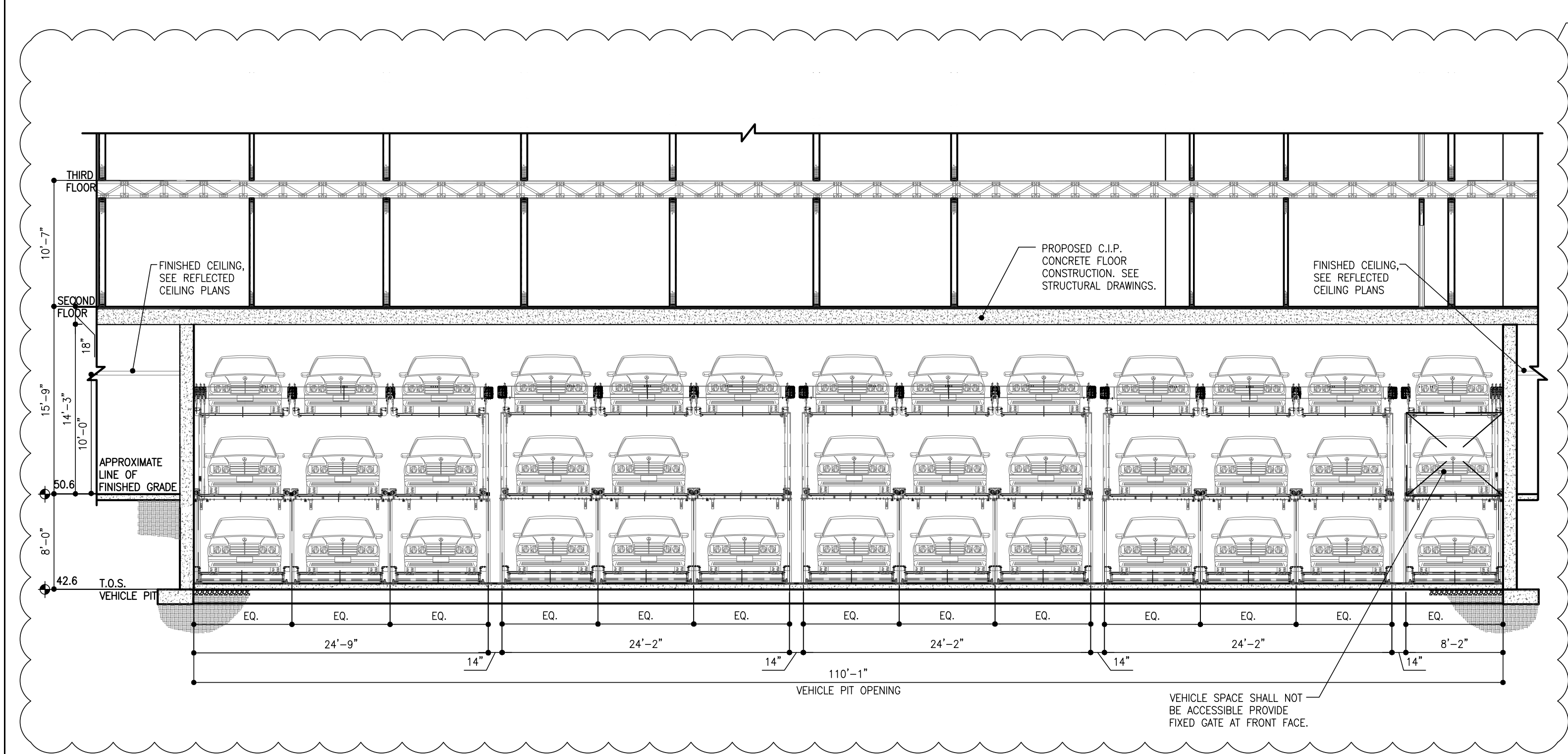
| EV CHARGING STATION REQUIREMENTS |                                    |                              |                   |
|----------------------------------|------------------------------------|------------------------------|-------------------|
| PARKING REQUIRED PER ZONING      | EV CHARGING STATION REQUIRED (15%) | EV CHARGING STATION PROPOSED | PARKING REDUCTION |
| 44 SPACES                        | 7 SPACES                           | 7 SPACES                     | 4 SPACES          |

| PROPOSED PARKING SPACE REQUIREMENTS |          |                                                     |                         |
|-------------------------------------|----------|-----------------------------------------------------|-------------------------|
| USE                                 | PROPOSED | REQUIRED PARKING RATIO                              | PROVIDED PARKING SPACES |
| RESIDENTIAL                         | 40 UNITS | 1.0 SPACE PER 1-BR UNIT<br>1.25 SPACE PER 2-BR UNIT | 44 SPACES               |
| EV PARKING REDUCTION                | -        | -                                                   | 4 SPACES REDUCTION      |
| TOTAL REQUIRED                      | -        | -                                                   | 40 SPACES               |
| TOTAL PROVIDED                      | -        | -                                                   | 44 SPACES               |

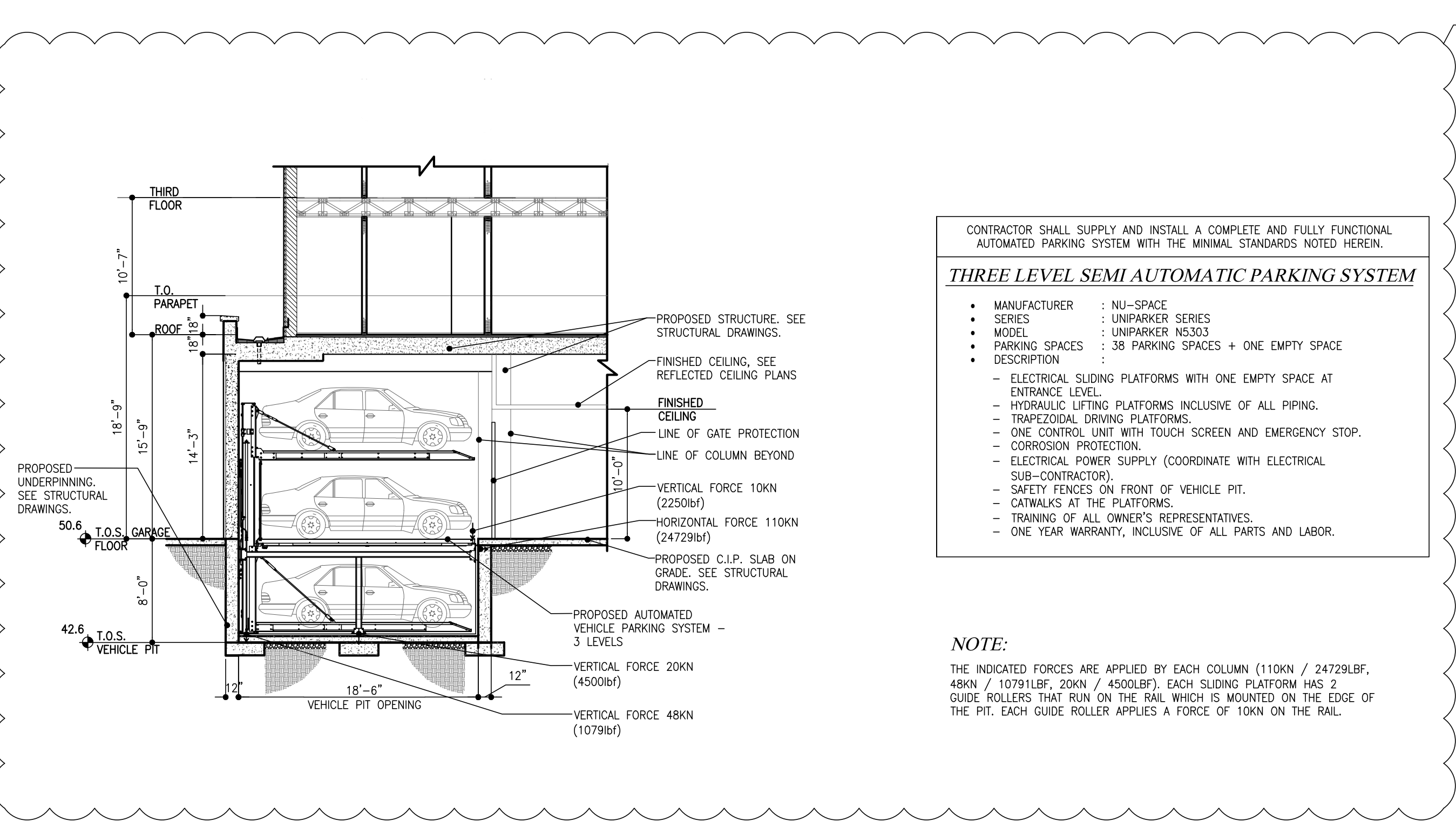
NOTE: SAFETY MEASURES SHALL BE INSTALLED AT THE GARAGE AREA AS REQUIRED BY THE FIRE-SUB-CODE OFFICIAL, INCLUDING BUT NOT LIMITED TO, EV BLANKETS, AND HIGH-PRESSURE/HIGH-VOLUME SPRINKLER HEADS.



**B TYPICAL BOLLARD DETAIL**  
N.T.S.



**1 PARKING EQUIPMENT ELEVATION AND SECTION**  
1/8" = 1'-0"  
AS NOTED



- CONTRACTOR SHALL SUPPLY AND INSTALL A COMPLETE AND FULLY FUNCTIONAL AUTOMATED PARKING SYSTEM WITH THE MINIMAL STANDARDS NOTED HEREIN.
- THREE LEVEL SEMI AUTOMATIC PARKING SYSTEM**
- MANUFACTURER : NU-SPACE
  - SERIES : UNIPARKER SERIES
  - MODEL : UNIPARKER NS303
  - PARKING SPACES : 38 PARKING SPACES + ONE EMPTY SPACE
  - DESCRIPTION :
    - ELECTRICAL SLIDING PLATFORMS WITH ONE EMPTY SPACE AT ENTRANCE LEVEL.
    - HYDRAULIC LIFTING PLATFORMS INCLUSIVE OF ALL PIPING, TRAPEZOIDAL DRIVING PLATFORMS.
    - ONE CONTROL UNIT WITH TOUCH SCREEN AND EMERGENCY STOP.
    - CORROSION PROTECTION.
    - ELECTRICAL POWER SUPPLY (COORDINATE WITH ELECTRICAL SUB-CONTRACTOR).
    - SAFETY FENCES ON FRONT OF VEHICLE PIT.
    - CATWALKS AT THE PLATFORMS.
    - TRAINING OF ALL OWNER'S REPRESENTATIVES.
    - ONE YEAR WARRANTY, INCLUSIVE OF ALL PARTS AND LABOR.

**NOTE:**  
THE INDICATED FORCES ARE APPLIED BY EACH COLUMN (110KN / 24729LBF, 48KN / 10791LBF, 20KN / 4500LBF). EACH SLIDING PLATFORM HAS 2 GUIDE ROLLERS THAT RUN ON THE RAIL WHICH IS MOUNTED ON THE EDGE OF THE PIT. EACH GUIDE ROLLER APPLIES A FORCE OF 10KN ON THE RAIL.

**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

**TRAFFIC PLAN  
AND NOTES**

| No. | Date     | Revision       |
|-----|----------|----------------|
| 1   | 04/28/26 | UPDATED SURVEY |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

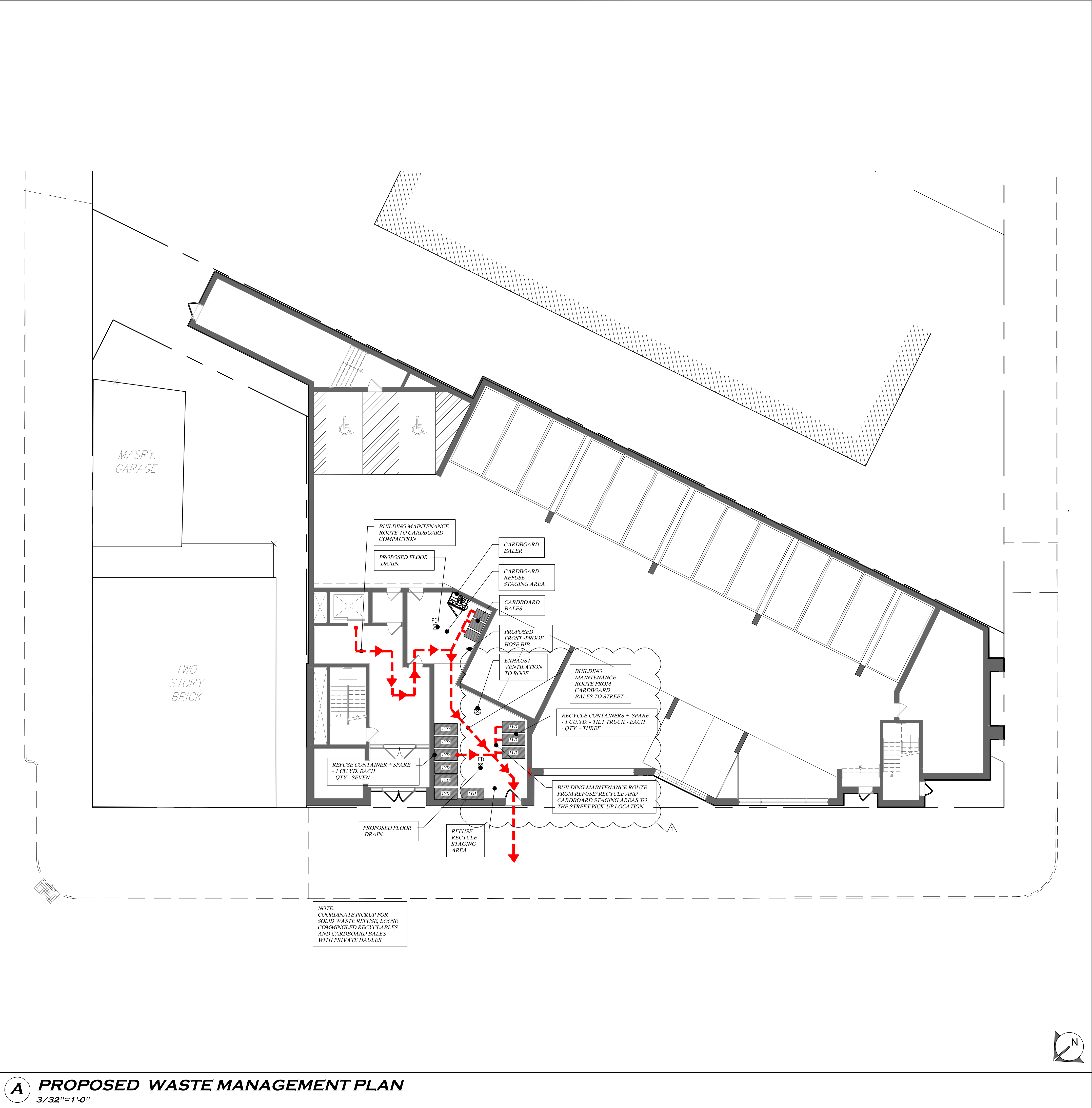
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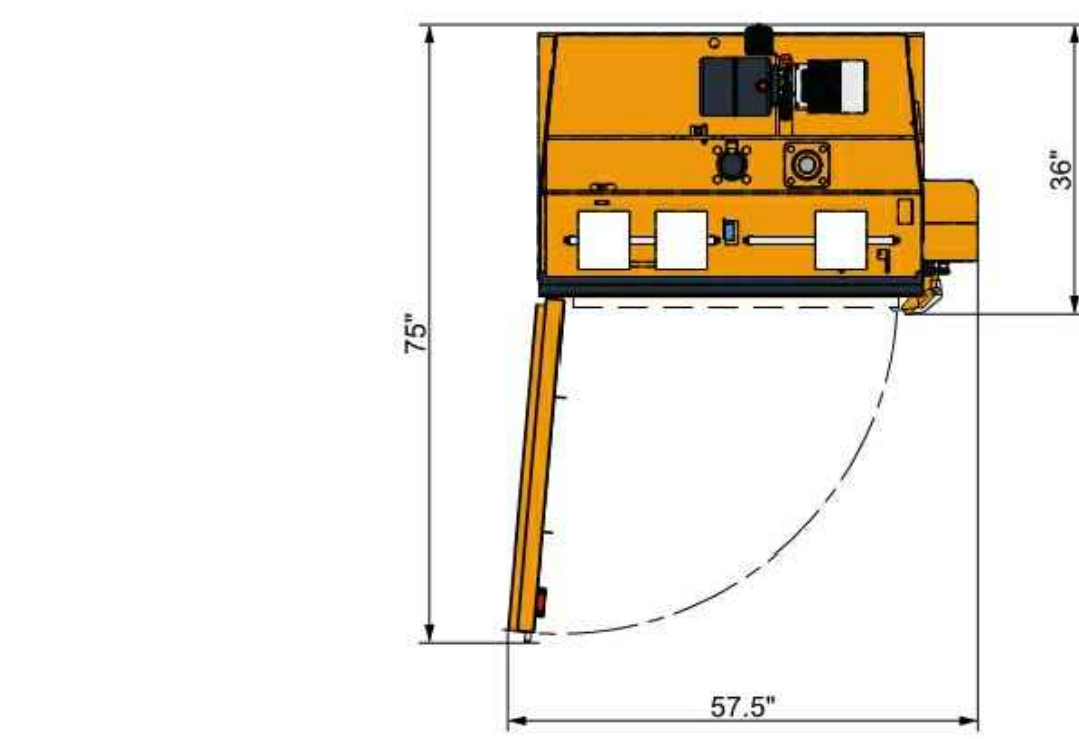
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Drawing No. **C1.4**

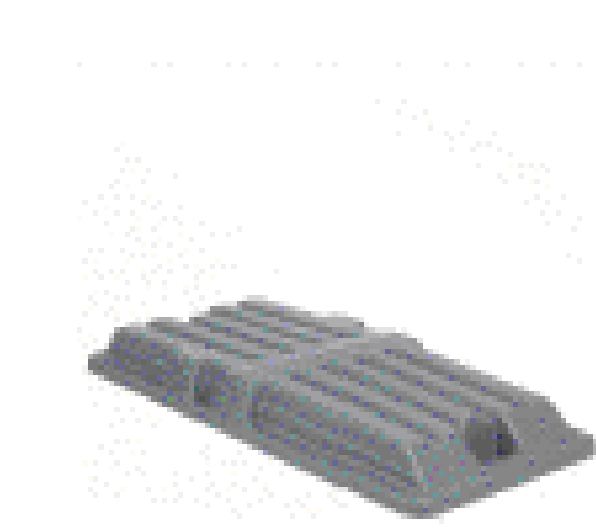




**A** **PROPOSED WASTE MANAGEMENT PLAN**  
3/32"=1'-0"



**RESIDENTIAL CARDBOARD BALER**  
NTS.



**TILT TRUCK LID**  
NTS.



**TILT TRUCK ONE CU. YD.**  
NTS.

| MULTI FAMILY WASTE MANAGEMENT REQUIREMENTS                                                                                                                                                                                                                                                                                                                                                                                                     |                                                            |                                          |                                       |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------|------------------------------------------|---------------------------------------|
| SOLID WASTE - PRIVATE HAULER PICKUP                                                                                                                                                                                                                                                                                                                                                                                                            |                                                            |                                          |                                       |
| SPACES                                                                                                                                                                                                                                                                                                                                                                                                                                         | VOLUME CREATED                                             | SERVICE REQUIRED                         | CONTAINERS PROVIDED                   |
| 40 APARTMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                  | 11 CU. YDS./ WEEK                                          | TWO PICK-UPS/ WEEK                       | 6 CONTAINER + 1 SPARE (1 CU. YD. ea.) |
| RECYCLING - PRIVATE HAULER PICKUP                                                                                                                                                                                                                                                                                                                                                                                                              |                                                            |                                          |                                       |
| SPACES                                                                                                                                                                                                                                                                                                                                                                                                                                         | VOLUME CREATED                                             | SERVICE REQUIRED                         | CONTAINERS PROVIDED                   |
| 40 APARTMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                  | 3 CU. YDS./ WEEK (LOOSE)<br>25 lbs / PER WEEK (COMPACTION) | TWO PICK-UPS/ WEEK<br>TWO PICK-UPS/ WEEK | (2) 1 YARD TILT-TRUCKS + 1 SPARE      |
| * INFORMATION BASED ON NJDEP - 2021 GUIDELINES                                                                                                                                                                                                                                                                                                                                                                                                 |                                                            |                                          |                                       |
| (1) WASTE GENERATION OCCUPANCY LOAD FOR BUILDING IS ESTIMATED AT 96 OCCUPANTS<br>-2BR-16-48 OCCUPANTS<br>-1BR-24-48 OCCUPANTS                                                                                                                                                                                                                                                                                                                  |                                                            |                                          |                                       |
| (2) INDIVIDUAL WASTE GENERATION - 3.70 lbs. PER PERSON/DAY (RESIDENTIAL)<br>-96 OCCUPANTS x 3.70 = 356 lbs.<br>(2A) 225 lbs./CU. YD.<br>-(356 x 7 = 2492)/225 = 11 CU. YD.<br>(2B) ONE CONTAINER = 1 CU. YD.<br>(2C) 11 CU.YD./ 7 DAYS = REQUIRED SOLID WASTE REMOVAL PER WEEK (RESIDENTIAL)                                                                                                                                                   |                                                            |                                          |                                       |
| (3) INDIVIDUAL COMMINGLED RECYCLING GENERATION - 2.2 lbs. PER PERSON/DAY (RESIDENTIAL)<br>-96 OCCUPANTS x 0.90 = 86 lbs. - PLASTIC/ METAL<br>-96 OCCUPANTS x 1.30 = 125 lbs. - CARDBOARD (25 lbs-COMPACTION)<br>(3A) 200 lbs./CU. YD.<br>-(86 x 7 = 602)/200 = 3 CU. YD.<br>(3B) CARDBOARD BALER - COMPACTION RATE = 5:1<br>(3C) 1 CU. YARD = ONE TILT-TRUCK<br>(3D) 3 TILT-TRUCKS/ 7 DAYS = REQUIRED RECYCLING REMOVAL PER WEEK (RESIDENTIAL) |                                                            |                                          |                                       |

Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**WASTE  
MANAGEMENT  
PLAN**

| No. | Date     | Revision       |
|-----|----------|----------------|
| 1   | 04/28/26 | UPDATED SURVEY |

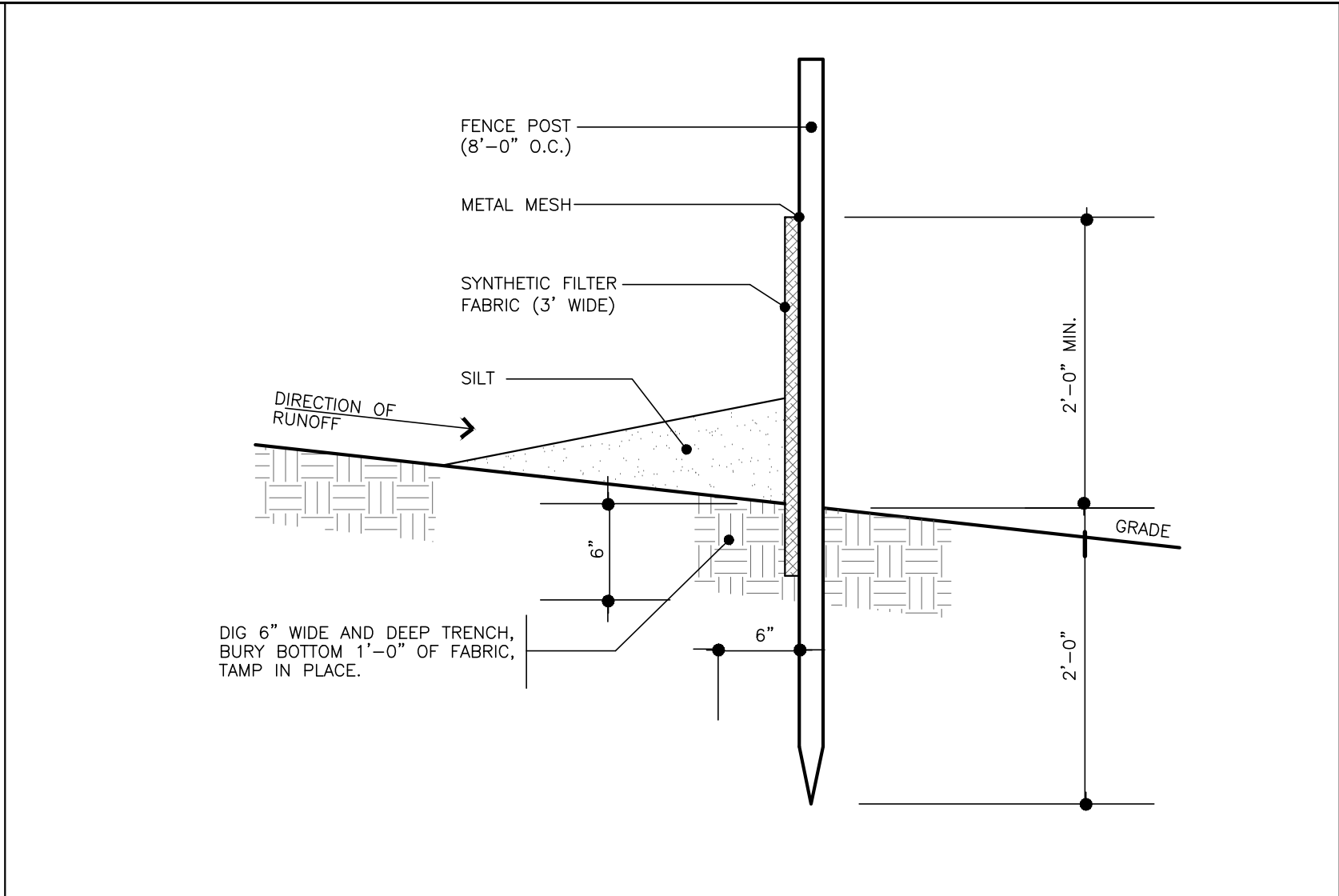
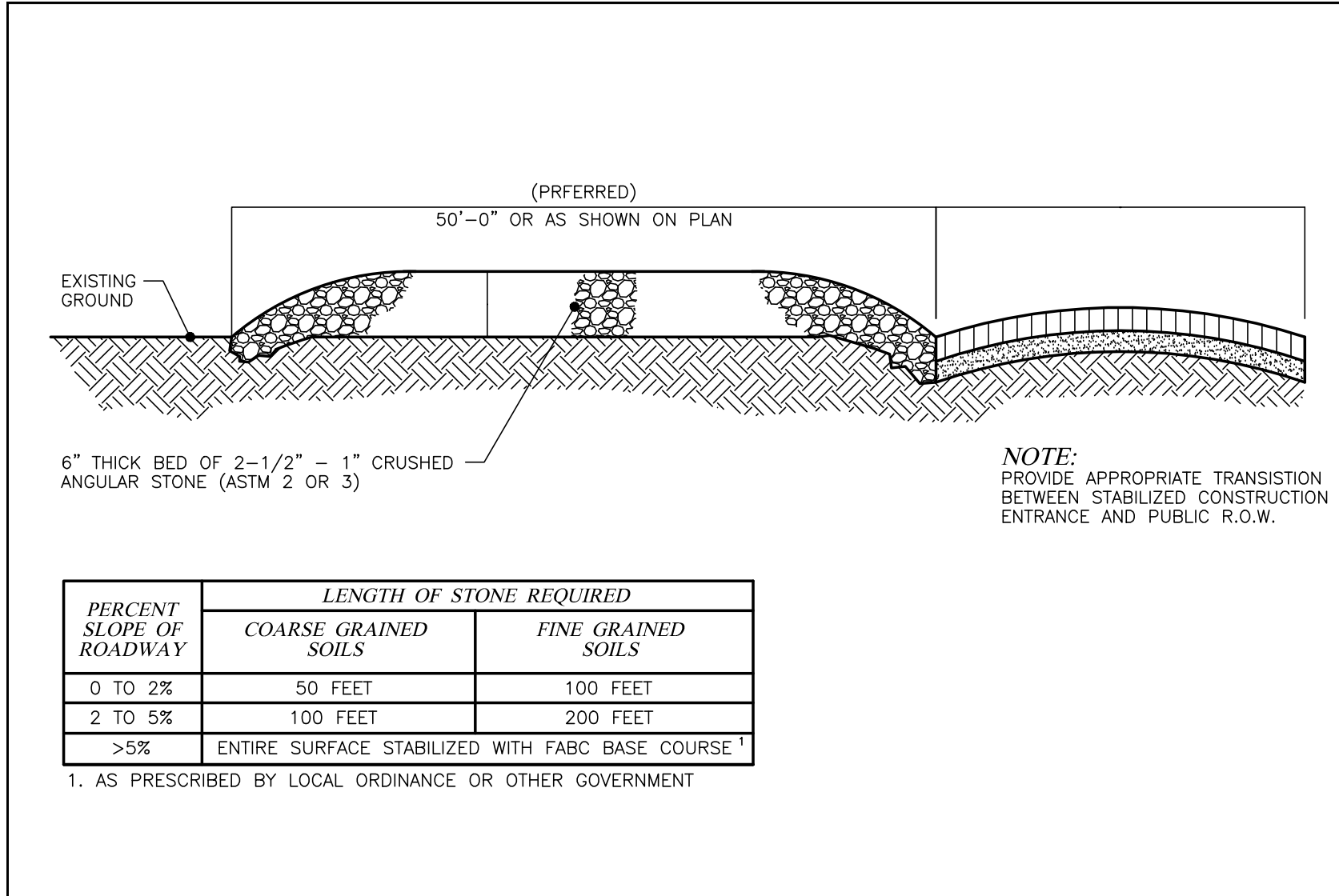
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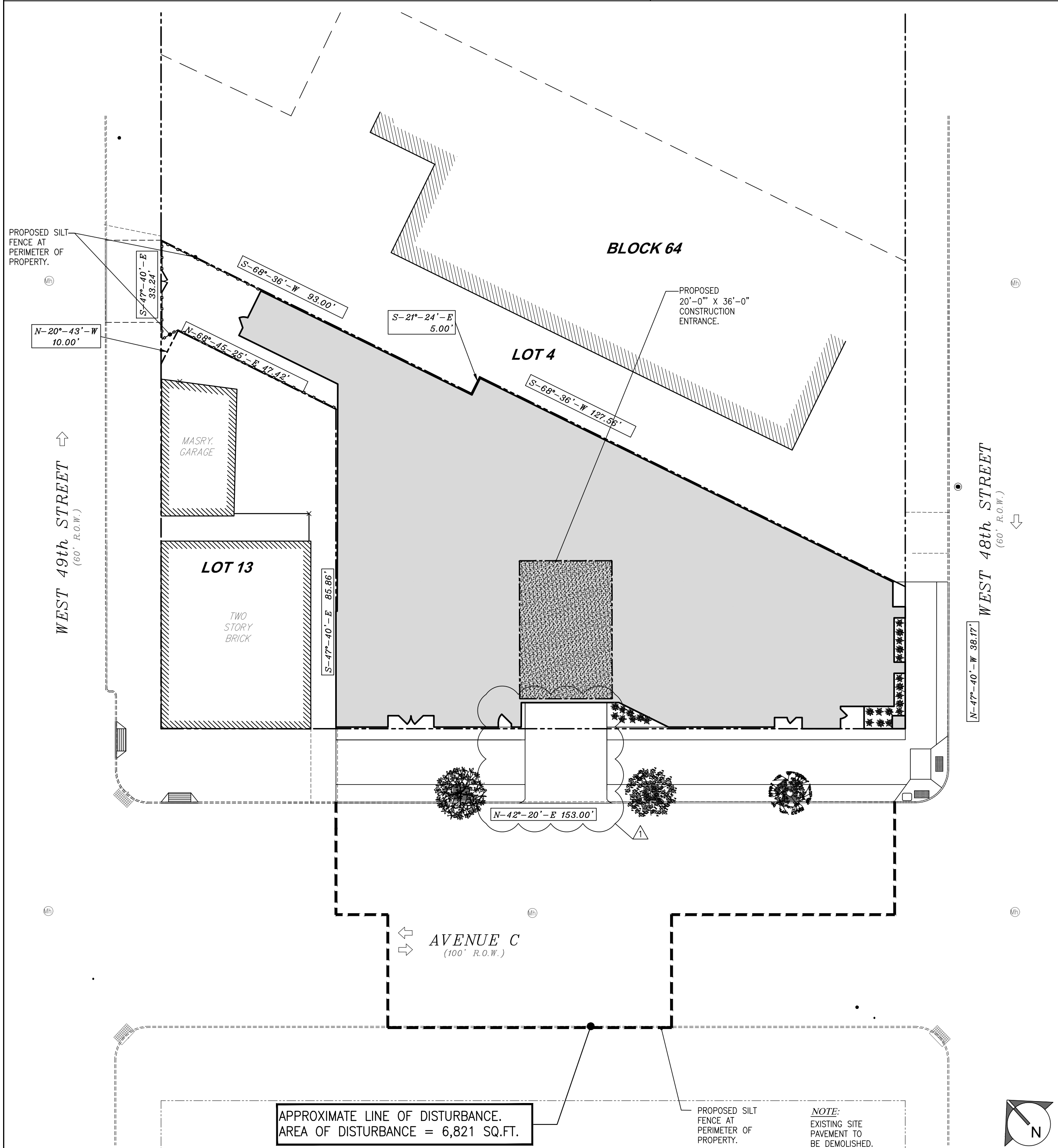
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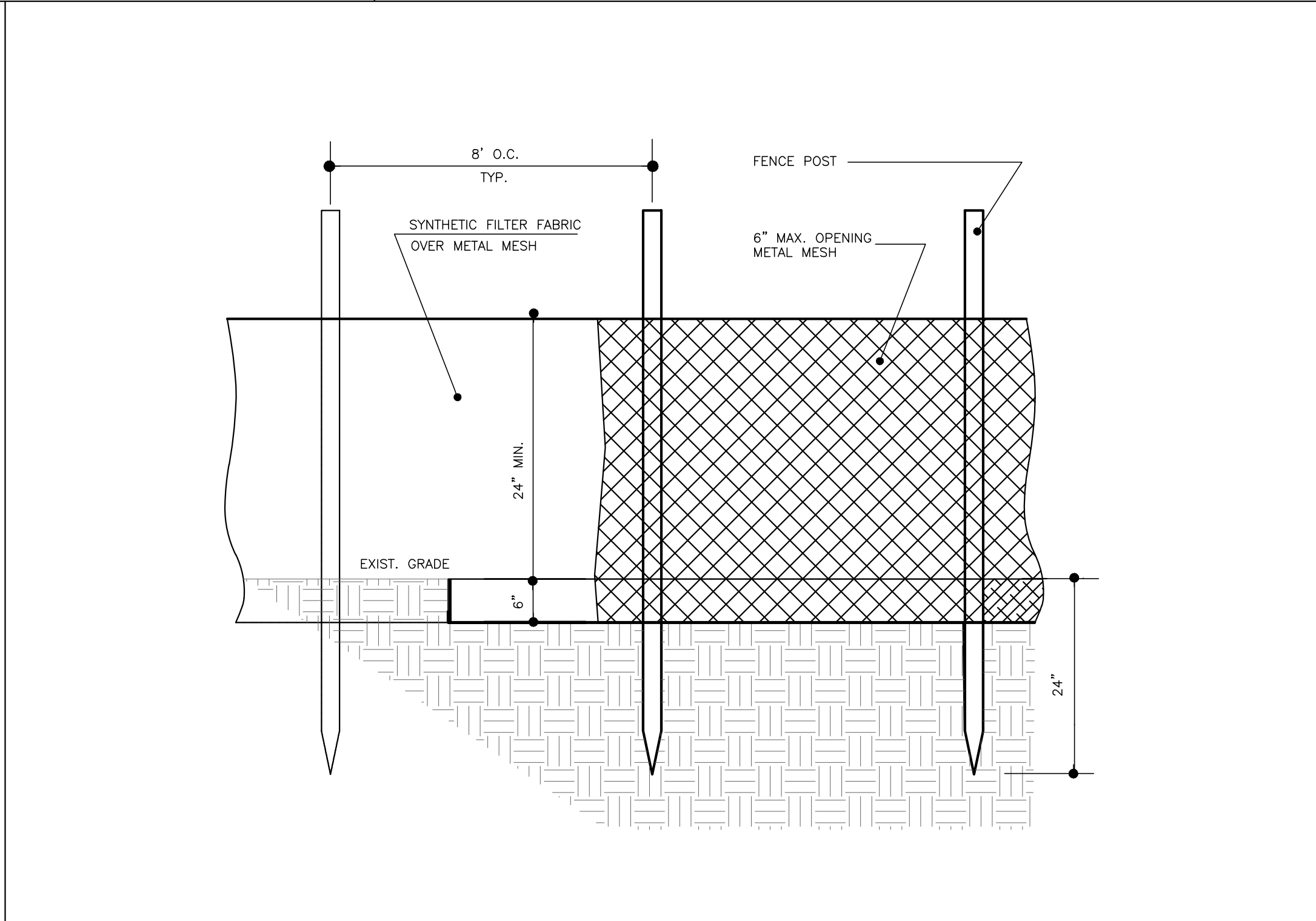


**1 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
N. T. S.

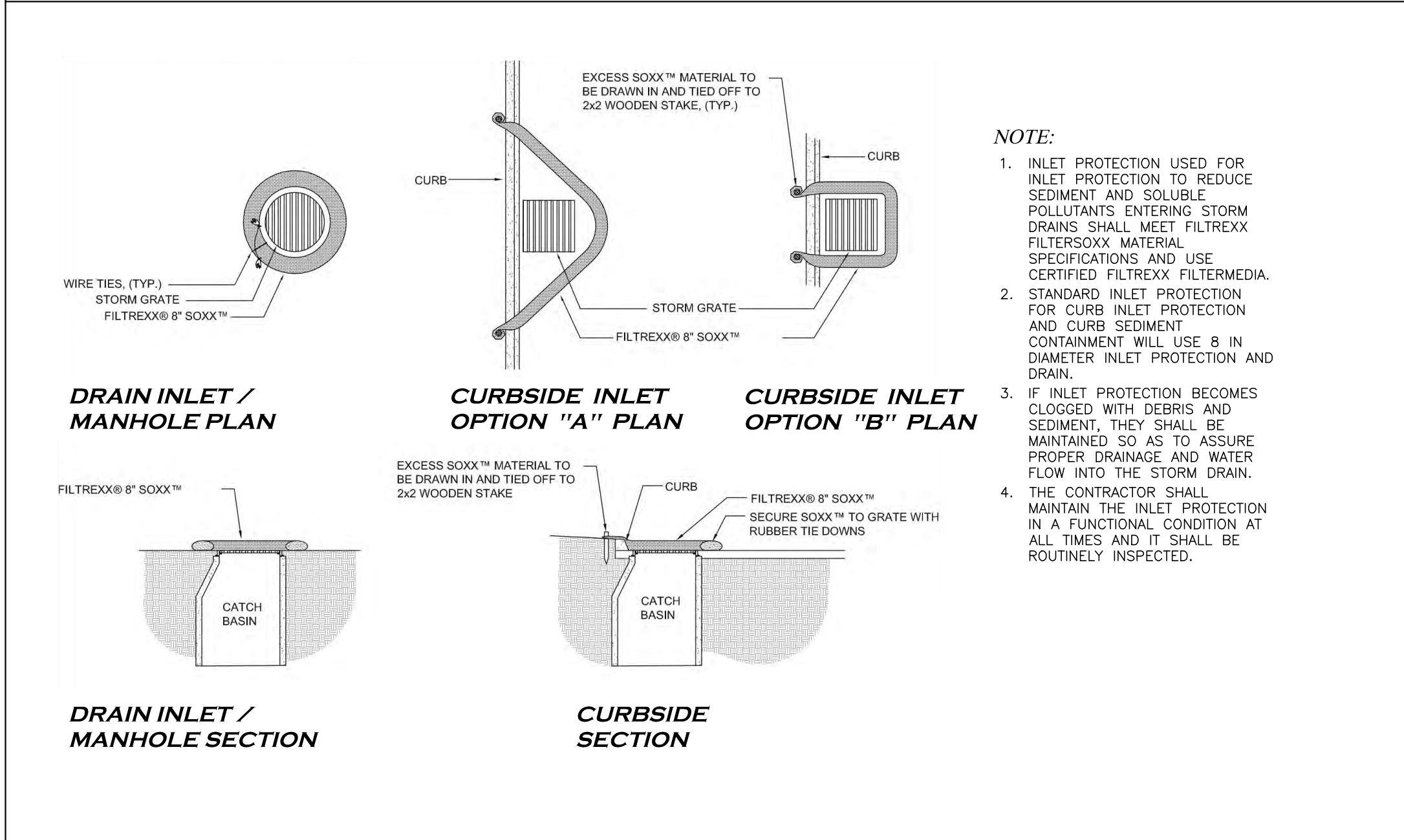
**2 SILT FENCE DETAIL**  
N. T. S.



**A SOIL EROSION AND SEDIMENT CONTROL PLAN**  
N. T. S.



**3 SILT FENCE DETAIL**  
N. T. S.



**4 FILTREX INLET PROTECTION DETAIL**  
N. T. S.

**EXEMPTION**

- THE PROJECT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.
- AS SUCH, THE PROJECT IS EXEMPT FROM THE SOIL DECOMPACTION REQUIREMENTS CONTAINED IN THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7th EDITION, LAST REVISED DECEMBER 2017.

**SEQUENCE OF CONSTRUCTION**

- INSTALL SEDIMENT BARRIER FENCE. - DURATION OF PROJECT
- STABILIZED CONSTRUCTION ENTRANCE. - DURATION OF PROJECT
- SITE PREPARATION - CLEAR AND GRUB. - WEEK 1 THROUGH WEEK 2
- GRADING TO SUB-GRADE ELEVATIONS. - WEEK 3
- SITE AND BUILDING CONSTRUCTION. - WEEK 4 THROUGH WEEK 26
- STABILIZATION OF LOT - WEEK 23 THROUGH WEEK 26
- REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES - END OF PROJECT

**GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15-10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862)333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG.
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT (862)333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2-1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND A MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

**DUST CONTROL NOTES:**

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

**MULCHES** - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY.

**VEGETATIVE COVER** - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, SHEET C1.4B, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, SHEET C1.4B.

**SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT AFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

| DUST CONTROL MATERIALS           |                |                |                   |
|----------------------------------|----------------|----------------|-------------------|
| MATERIALS                        | WATER DILUTION | TYPE OF NOZZLE | APPLY GALLONS/ACR |
| ANIONIC ASPHALT EMULSION         | 7:1            | COARSE SPRAY   | 1200              |
| LATEX EMULSION                   | 12.5:1         | FINE SPRAY     | 235               |
| RESIN IN WATER                   | 4:1            | FINE SPRAY     | 300               |
| POLYACRYLAMIDE(PAM) - SPRAY ON   |                |                |                   |
| POLYACRYLAMIDE(PAM) - DRY SPREAD |                |                |                   |
| ACIDULATED SOY BEAN SOAP STICK   | NONE           | COARSE SPRAY   | 1200              |

**TILLAGE** - TO ROUGHEN AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

**SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

**BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

**CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

**STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- THE RECOMMENDED METHOD FOR THIS SITE IS SPRINKLING WITH WATER UNTIL THE SURFACE IS WET. THE CONTRACTOR SHALL MAINTAIN THE SURFACE IN A WET CONDITION.

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Project Title

**RESIDENTIAL DEVELOPMENT**

1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title

**SITE  
SOIL EROSION  
AND  
SEDIMENT  
CONTROL PLAN**

| No. | Date     | Revision       |
|-----|----------|----------------|
| 1   | 04/28/26 | UPDATED SURVEY |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

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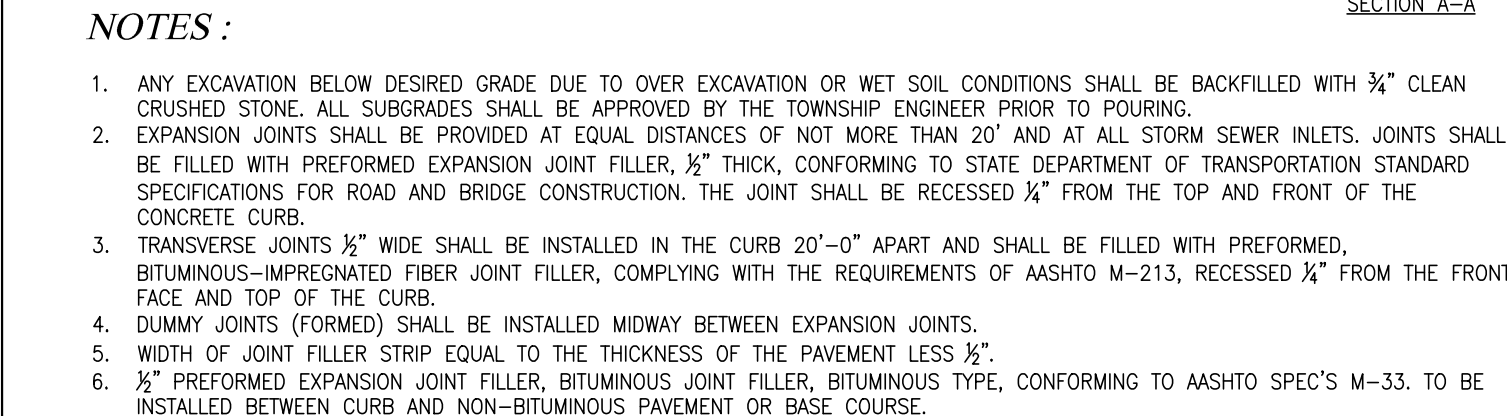
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BAYONNE, NEW JERSEY 07002  
TEL (201)823-0779

**DAL design group**

Drawing No.

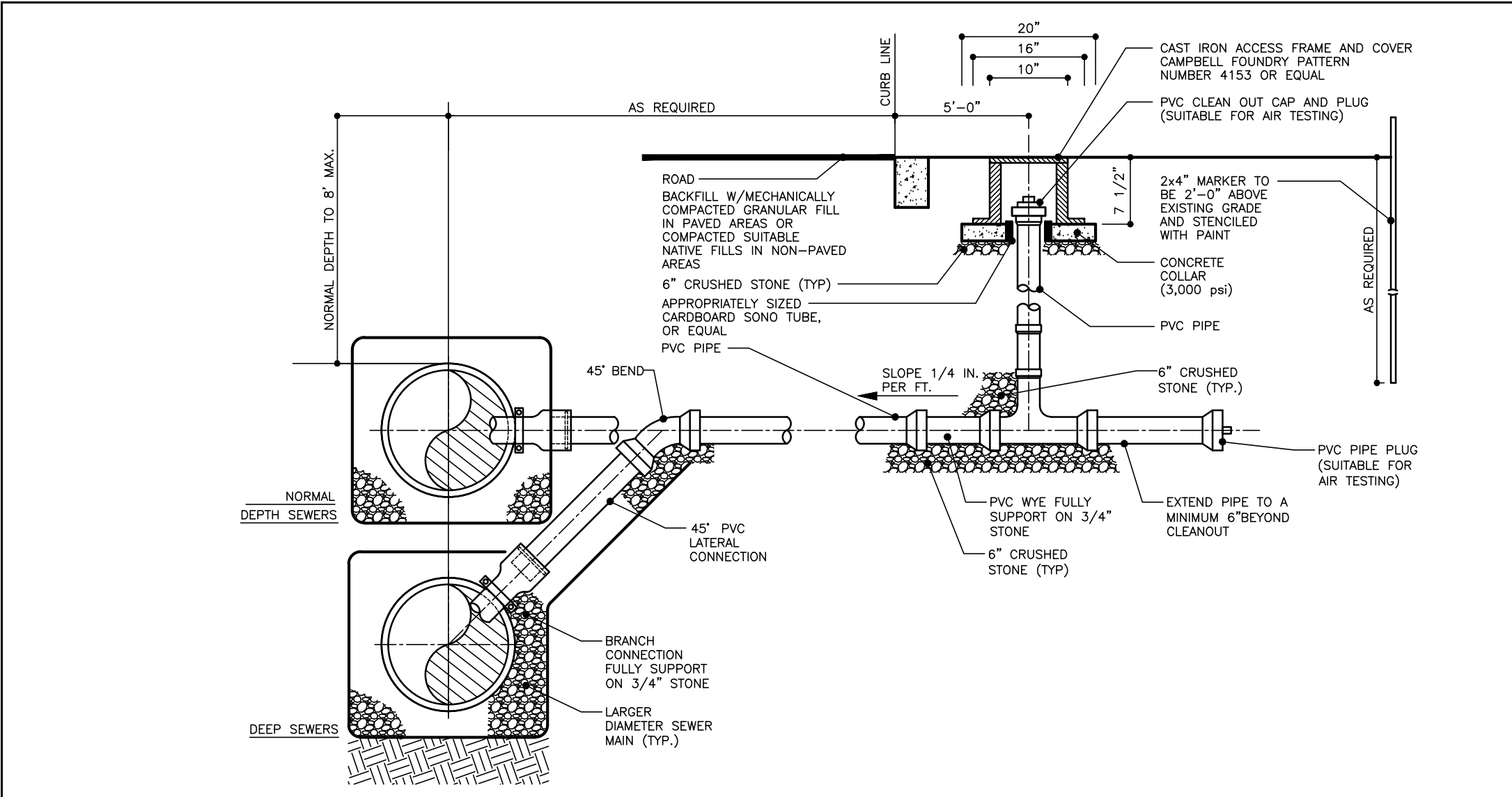
**C1.6**



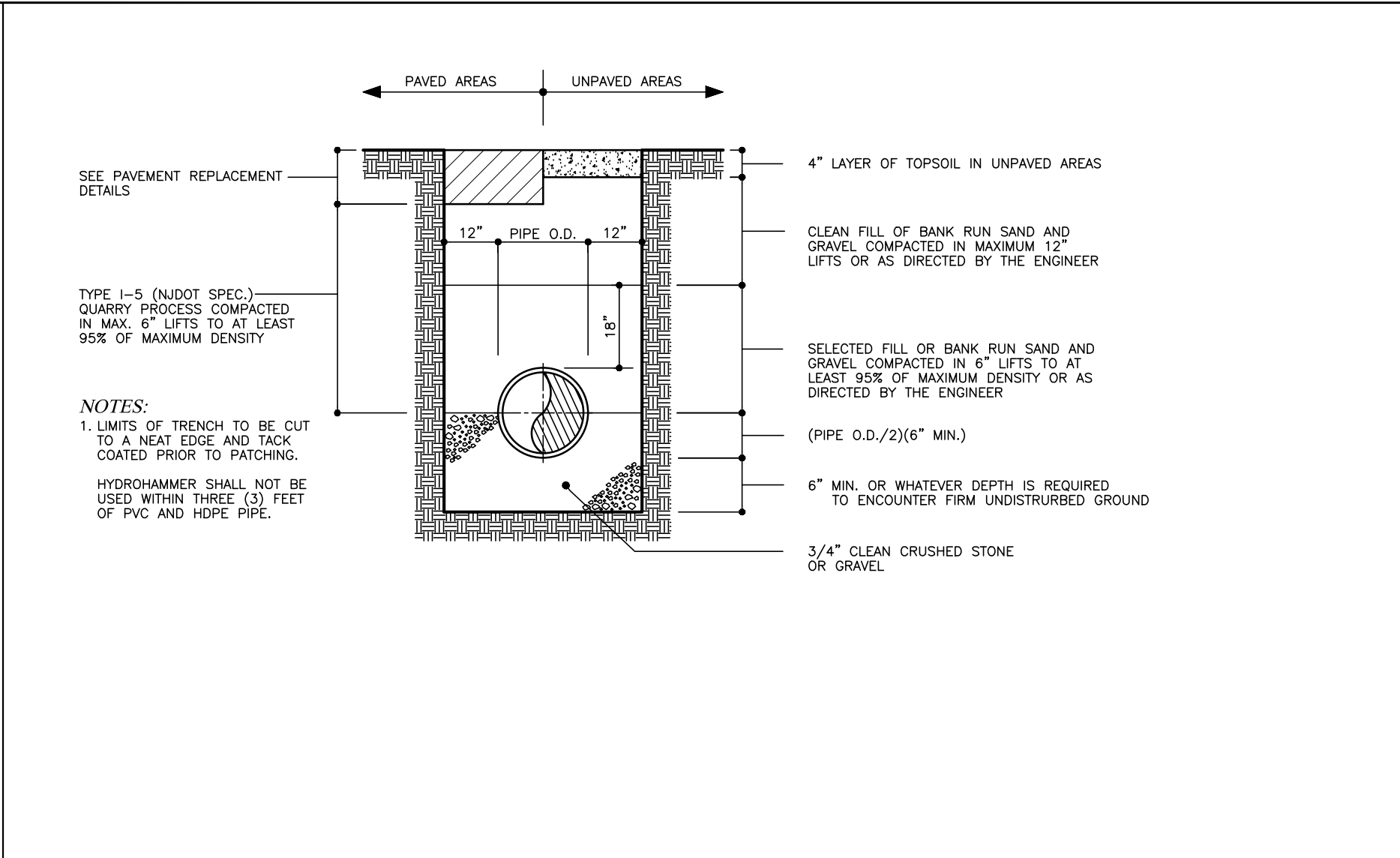


NO. **C2.1**

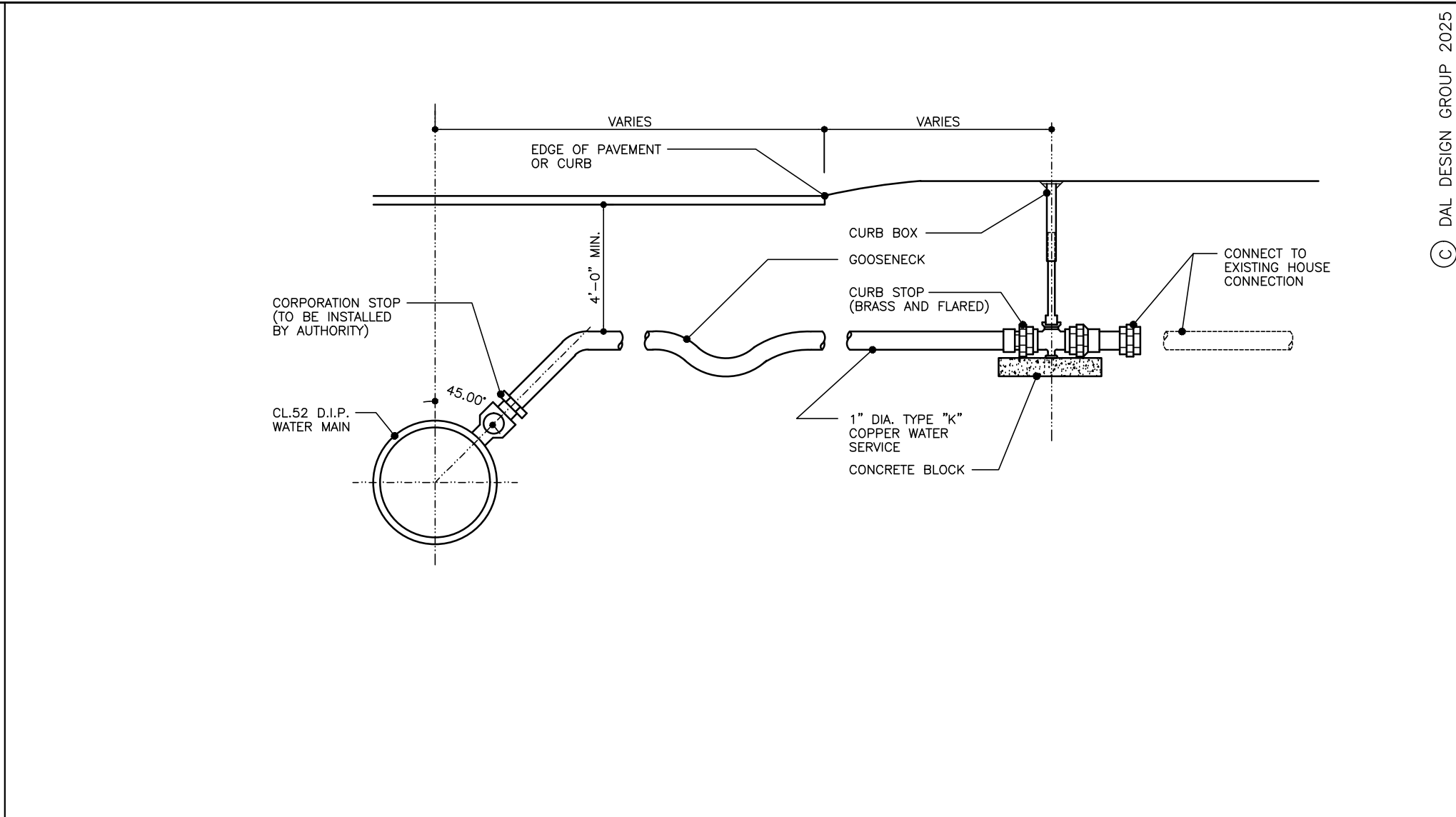




1 SERVICE LATERAL AND CLEANOUT - NEW CONNECTION  
N.T.S.



2 SURFACE RESTORATION AND TRENCH DETAIL FOR PVC AND HDPE PIPE  
N.T.S.



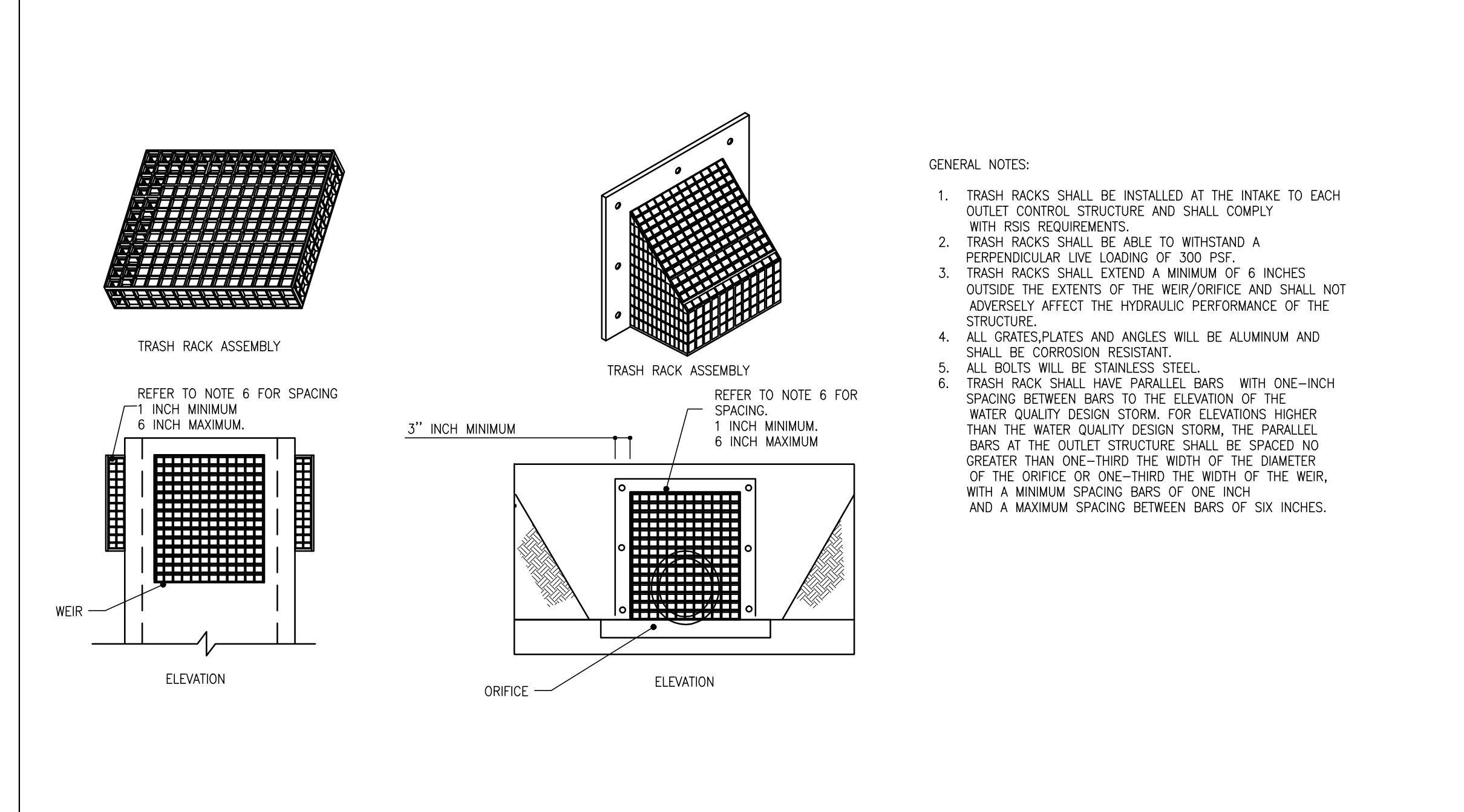
3 NEW WATER MAIN SERVICE DETAIL  
N.T.S.

| CHECKMATE® VALVE           |             |                     |             |                     |               |             |                         |        |
|----------------------------|-------------|---------------------|-------------|---------------------|---------------|-------------|-------------------------|--------|
| NOMINAL<br>PIPE SIZE I.D.* |             | OVERALL<br>LENGTH** |             | NUMBER<br>OF CLAMPS | CUFF<br>DEPTH |             | BACK PRESSURE<br>RATING |        |
| Inches                     | Millimeters | Inches              | Millimeters |                     | Inches        | Millimeters | Feet                    | Meters |
| 4                          | 100         | 7.86                | 200         | 1                   | 1.5           | 38          | 40                      | 12     |
| 6                          | 150         | 9                   | 229         | 1                   | 2             | 51          | 40                      | 12     |
| 7                          | 178         | 12.75               | 324         | 1                   | 2             | 51          | 40                      | 12     |
| 8                          | 200         | 15.23               | 387         | 1                   | 2             | 51          | 40                      | 12     |
| 9                          | 225         | 15.38               | 391         | 1                   | 2             | 51          | 40                      | 12     |
| 10                         | 250         | 16.12               | 409         | 1                   | 2             | 51          | 40                      | 12     |
| 12                         | 300         | 23                  | 584         | 1                   | 2             | 51          | 40                      | 12     |
| 14                         | 350         | 25.75               | 654         | 1                   | 4             | 102         | 20                      | 6      |
| 16                         | 400         | 28.61               | 727         | 1                   | 4             | 102         | 20                      | 6      |
| 18                         | 450         | 31                  | 787         | 1                   | 4             | 102         | 20                      | 6      |
| 20                         | 500         | 42.14               | 1070        | 2                   | 8             | 203         | 20                      | 6      |
| 24                         | 600         | 47.5                | 1207        | 2                   | 8             | 203         | 20                      | 6      |
| 30                         | 750         | 54.87               | 1394        | 2                   | 8             | 203         | 20                      | 6      |
| 36                         | 900         | 62.25               | 1581        | 2                   | 8             | 203         | 20                      | 6      |
| 42                         | 1050        | 70.62               | 1794        | 2                   | 8             | 203         | 13                      | 4      |
| 48                         | 1200        | 79                  | 2007        | 2                   | 8             | 203         | 13                      | 4      |
| 54                         | 1350        | 86.37               | 2194        | 2                   | 8             | 203         | 13                      | 4      |
| 60                         | 1500        | 102.5               | 2604        | 2                   | 12            | 305         | 13                      | 4      |
| 72                         | 1829        | 119                 | 3023        | 3                   | 12            | 305         | 10                      | 3      |

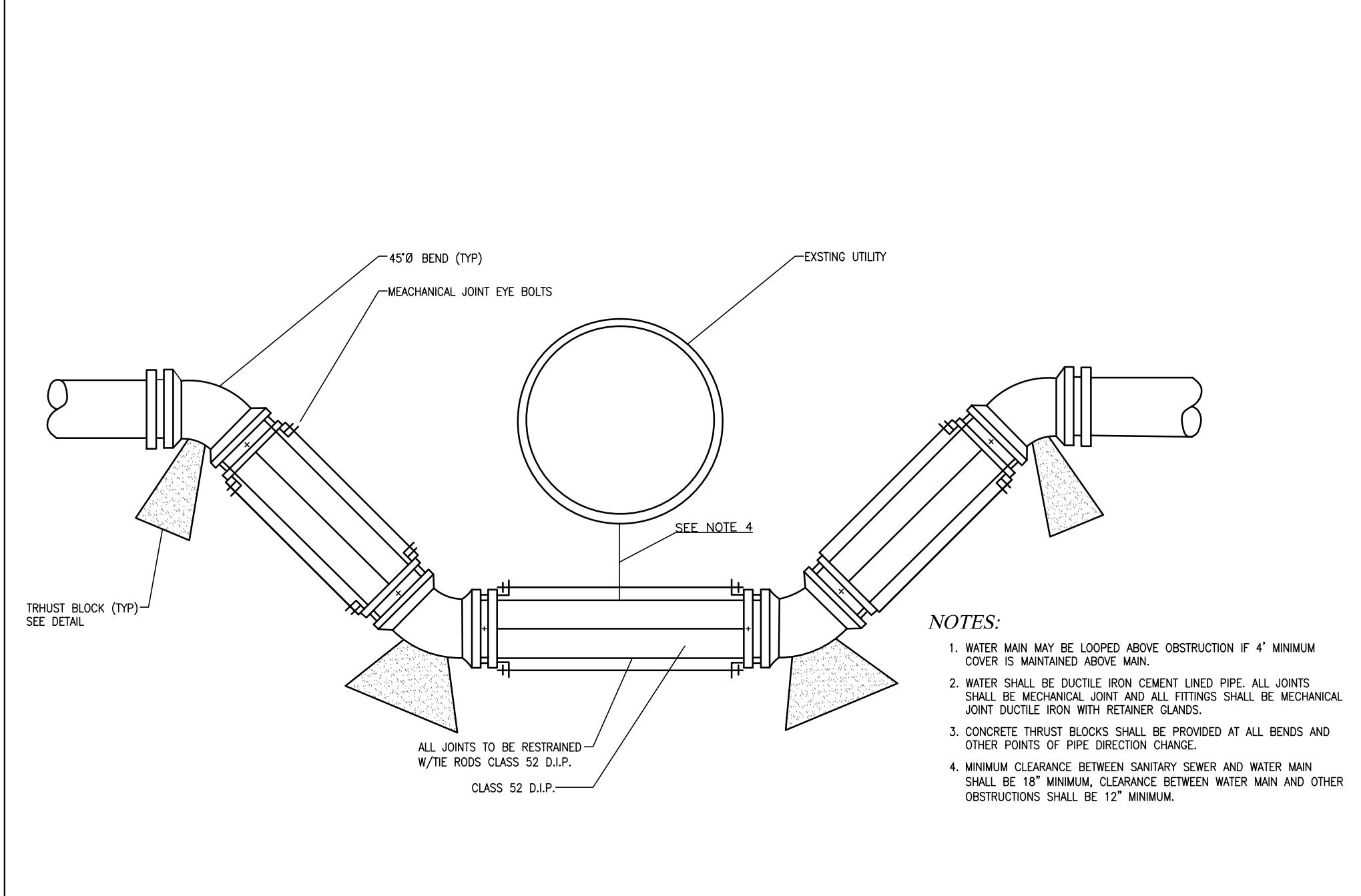
Downstream Clamp



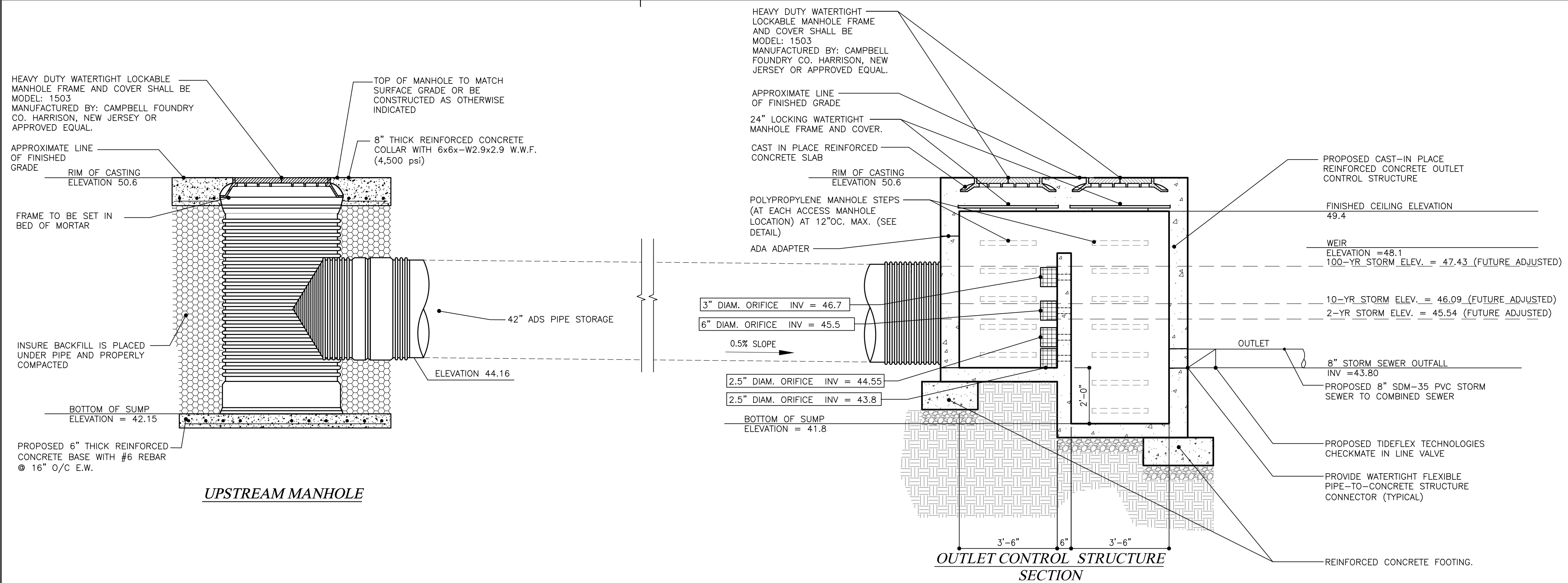
4 CHECKMATE VALVE DETAIL  
N.T.S.



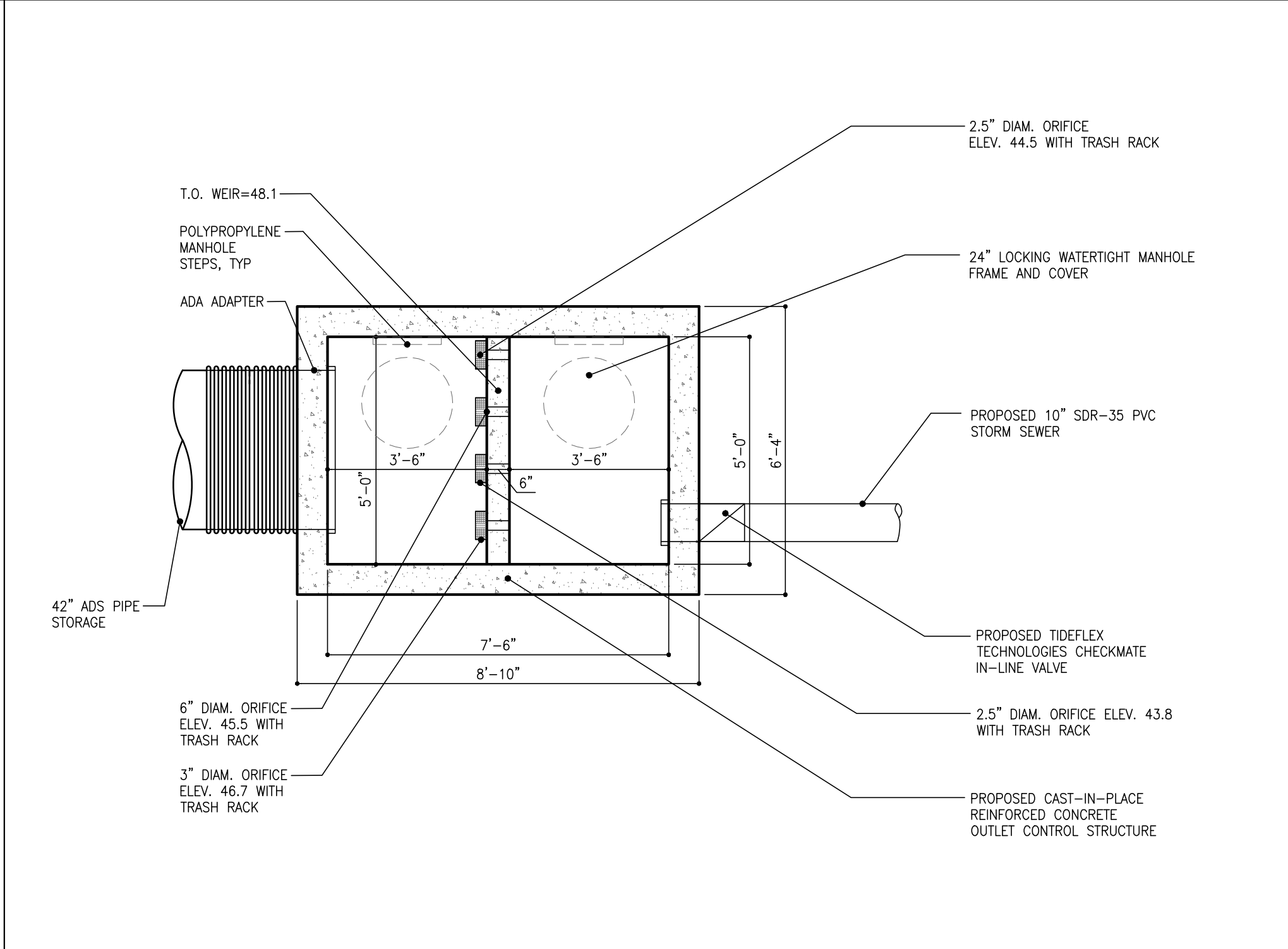
5 TRASH RACK DETAIL  
N.T.S.



6 UTILITY BY-PASS  
N.T.S.



7 STORM WATER MANAGEMENT - DETAIL / PROFILE  
3/8" = 1'-0"



8 OUTLET CONTROL STRUCTURE PLAN  
3/8" = 1'-0"

Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**SITE  
DETAILS**

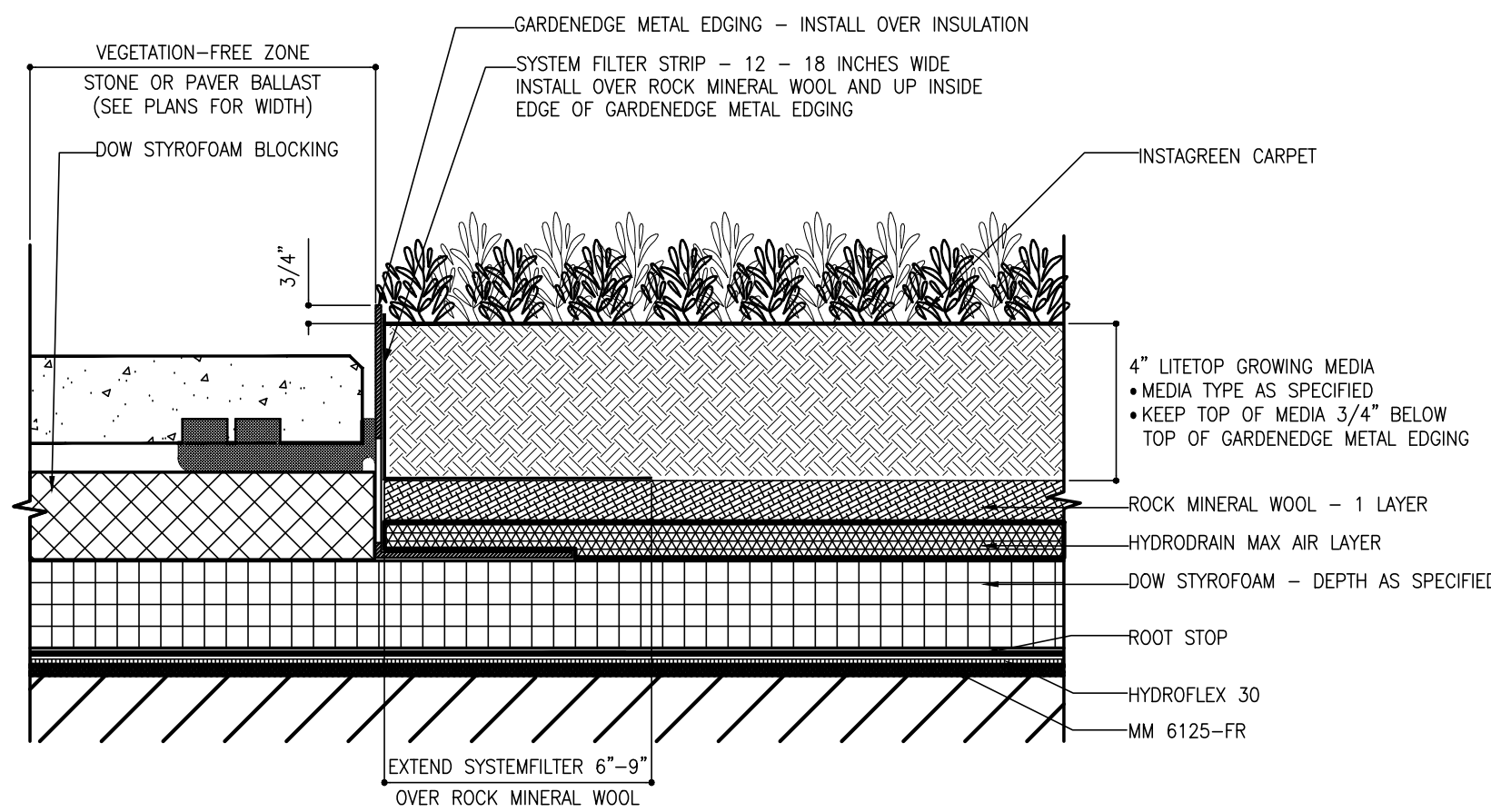
| No. | Date     | Revision       |
|-----|----------|----------------|
| 1   | 04/26/26 | GENERAL DESIGN |
| 2   |          |                |
| 3   |          |                |
| 4   |          |                |
| 5   |          |                |
| 6   |          |                |
| 7   |          |                |
| 8   |          |                |
| 9   |          |                |
| 10  |          |                |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
| OCTOBER 10, 2025 | AS NOTED | INDO  | CH/AS   | 202211-SP |

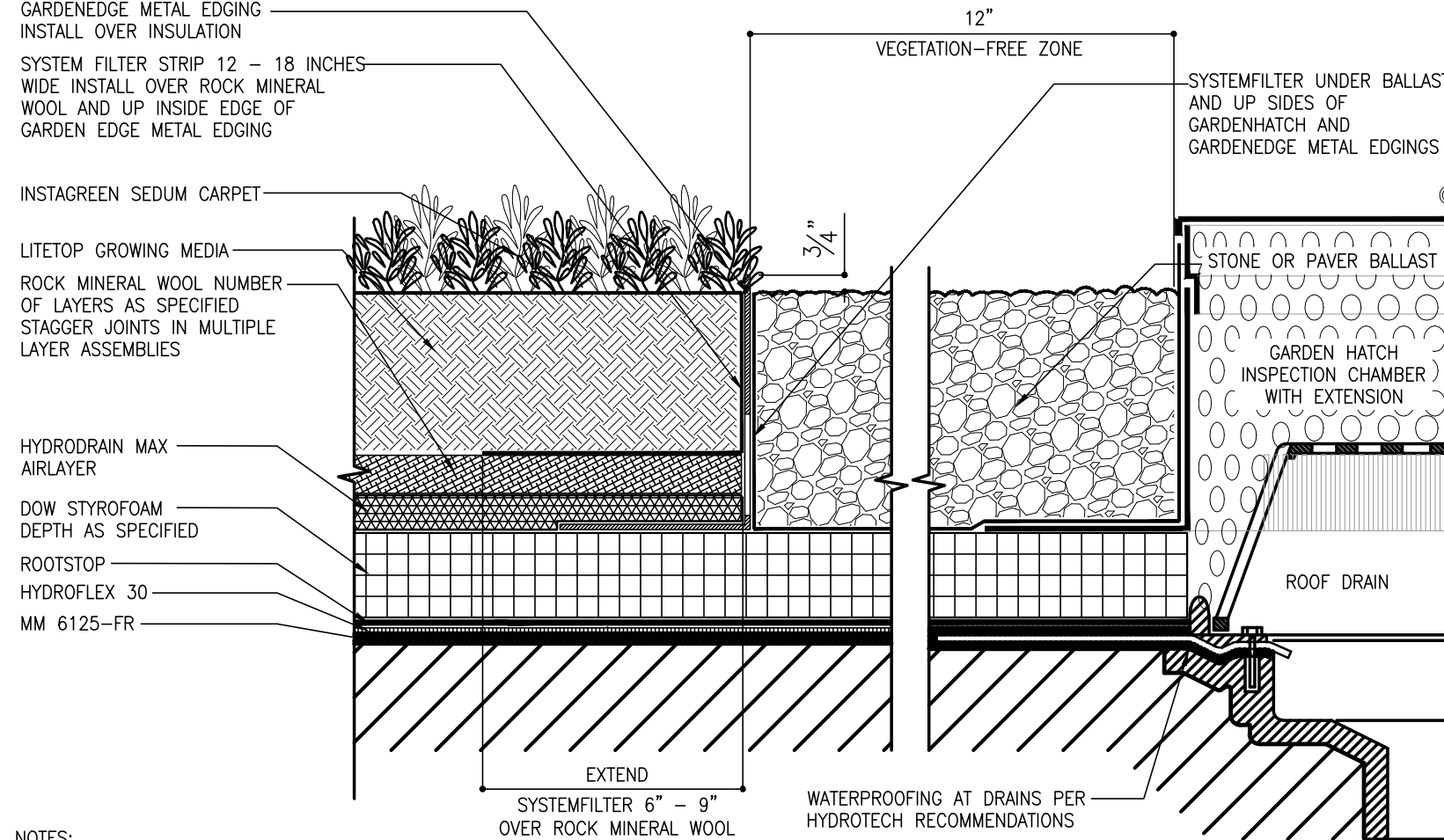
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Drawing No.  
**C2.2**

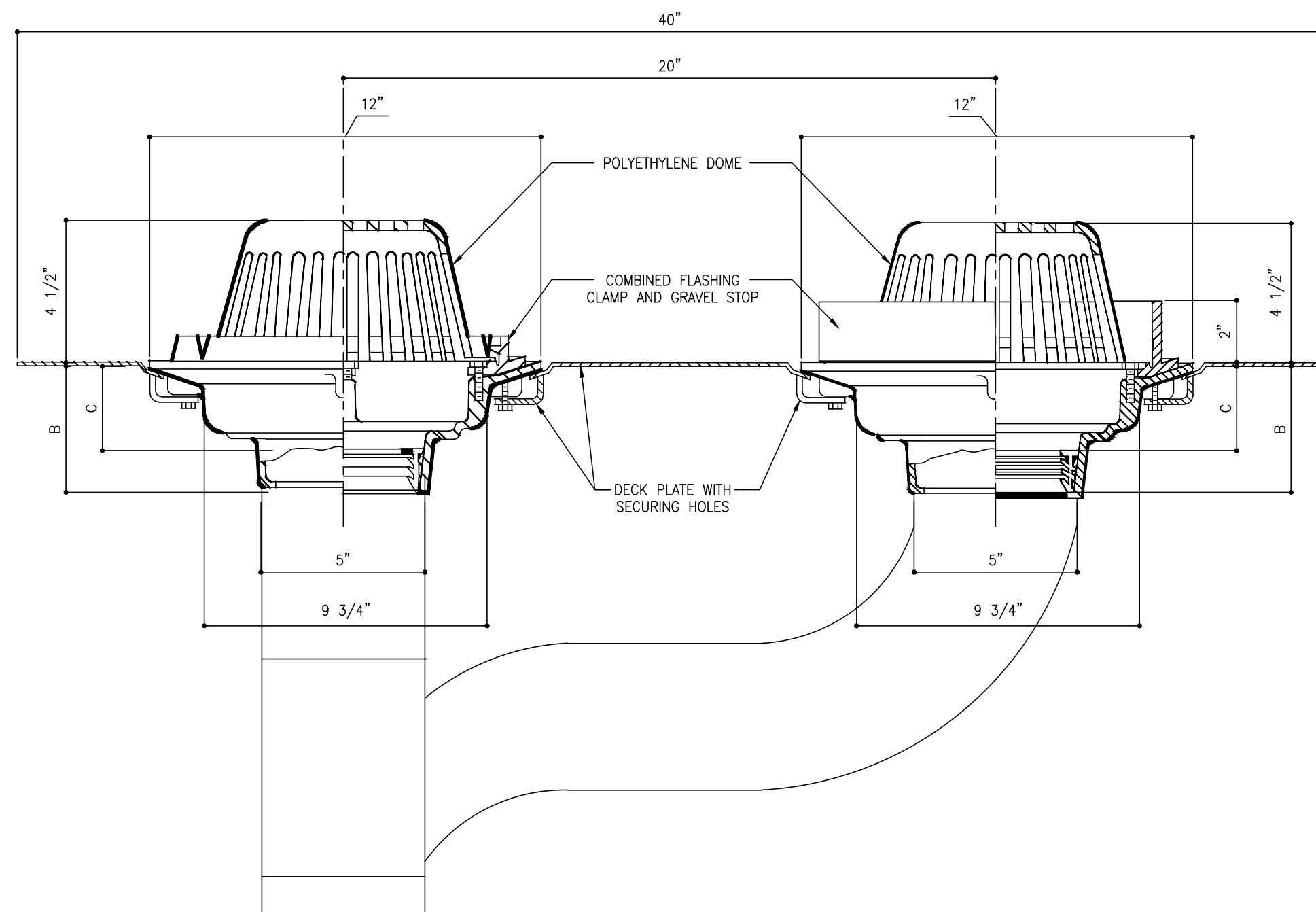




- NOTES:
1. INSTAGREEN CARPET IS RECOMMENDED BY HYDROTECH IN ROCK MINERAL WOOL ASSEMBLIES. OTHER VEGETATION OPTIONS ARE AVAILABLE.
  2. ANYWHERE ROCK MINERAL WOOL IS USED, HYDRODRAIN MAX MUST BE USED TO PROVIDE DRAINAGE.
  3. ROOT STOP IS LOOSE-LAID OVER THE HYDROFLEX 30 AND LAPPED A MINIMUM OF 5 FEET OR 2-1/2 FEET WITH LAPS TAPED USING ROOT STOP TAPE.
  4. THE VEGETATION FREE ZONE (VFZ) MAY BE COMPOSED OF TYPICAL STONE BALLAST OR CONCRETE PAVERS. CONTACT HYDROTECH FOR BALLAST DESIGN REQUIREMENTS. VFZs ARE REQUIRED AT ALL ROOF PERIMETERS AND ALL PENETRATIONS (PIPES, SKYLIGHTS, ETC.). GARDENEDGE METAL EDGE RESTRAINT, CONCRETE CURBS, LANDSCAPE TIMBERS, ETC. MAY BE USED AT VFZ/GROWING MEDIA TRANSITIONS.
  5. CONTACT HYDROTECH FOR VEGETATION FREE ZONE WIDTH AND MATERIAL REQUIREMENTS FOR WIND WARRANTY.
  6. CONTACT HYDROTECH FOR TEST RESULTS FOR LITETOP MEDIA AND ROCK MINERAL WOOL.



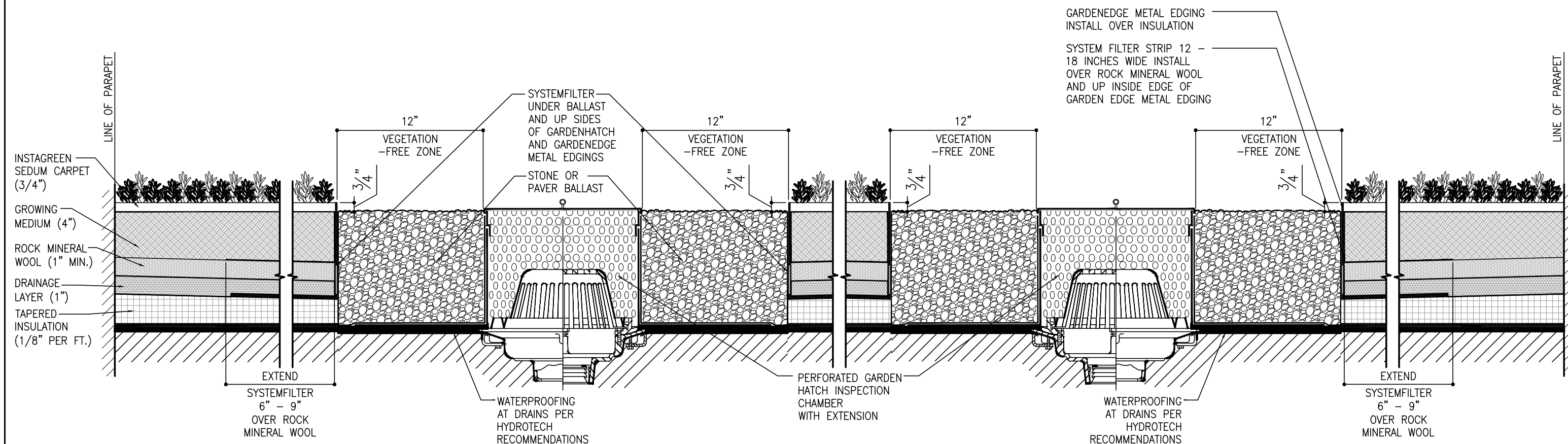
- NOTES:
1. INSTAGREEN CARPET IS RECOMMENDED BY HYDROTECH IN ROCK MINERAL WOOL ASSEMBLIES. OTHER VEGETATION OPTIONS ARE AVAILABLE.
  2. ANYWHERE ROCK MINERAL WOOL IS USED HYDRODRAIN MAX MUST BE USED TO PROVIDE DRAINAGE.
  3. ROOT STOP IS LOOSE-LAID OVER THE HYDROFLEX 30 AND LAPPED A MINIMUM OF 5 FEET OR 2-1/2 FEET WITH LAPS TAPED USING ROOT STOP TAPE.
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  5. CONTACT HYDROTECH FOR VEGETATION FREE ZONE WIDTH AND MATERIAL REQUIREMENTS FOR WIND WARRANTY.
  6. CONTACT HYDROTECH FOR TEST RESULTS FOR LITETOP MEDIA AND ROCK MINERAL WOOL.



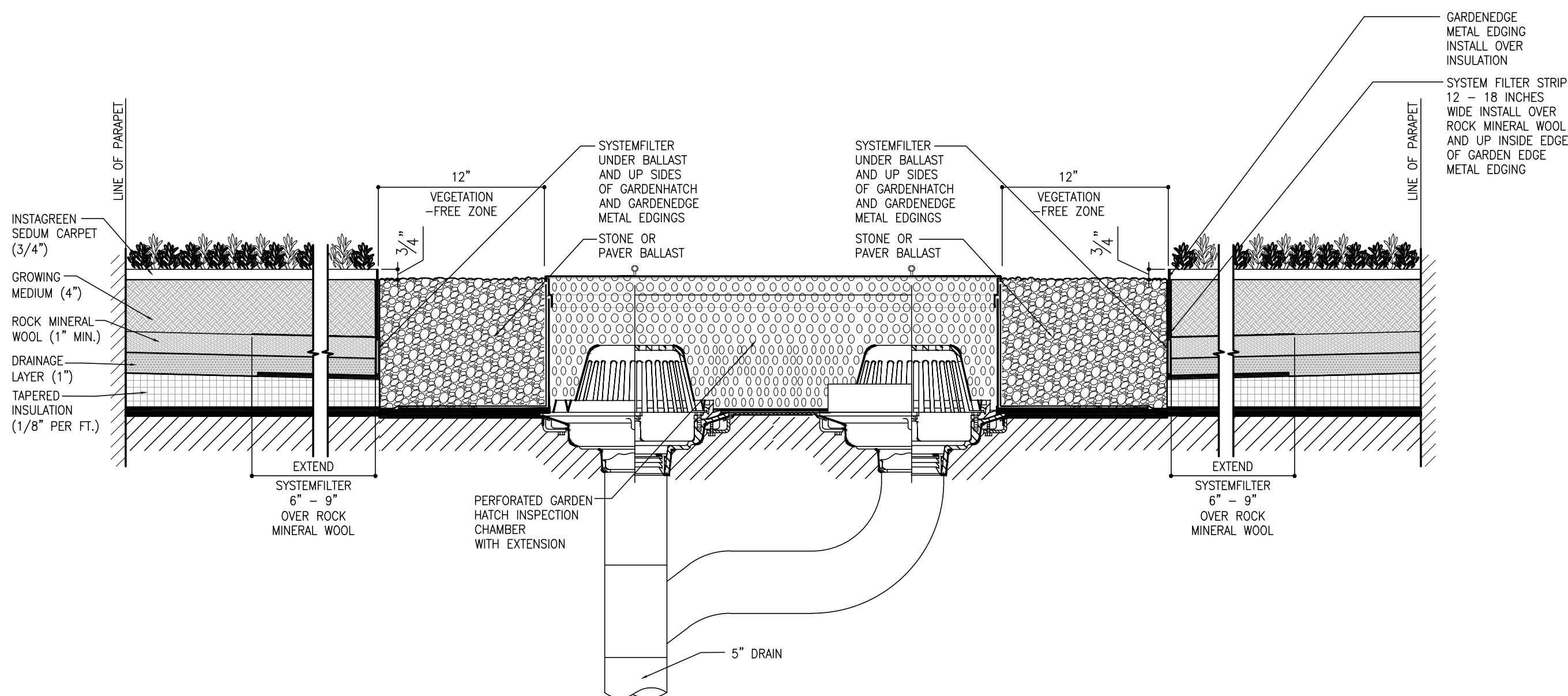
**1 GREEN ROOF 4+1 ASSEMBLY DETAIL**  
N.T.S.

**2 GREEN ROOF ASSEMBLY AT ROOF DRAIN**  
N.T.S.

**3 ROOF DRAIN AND OVERFLOW DRAIN**  
N.T.S.



**4 SECTION A-A**  
N.T.S.



**5 SECTION B-B**  
N.T.S.

Project Title

RESIDENTIAL DEVELOPMENT

1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title

GREEN ROOF  
DETAILS

Revision

Date

No.

Date  
APRIL 26, 2026

Scale  
AS NOTED

Drawn  
INDO

Checked  
CH/AS

Project  
202211-SP

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Drawing No.

C2.3





**1 PROPOSED FIRST FLOOR PLAN**  
1/8" = 1'-0"

Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**PROPOSED  
FIRST FLOOR  
PLAN**

| No. | Date     | Revision               |
|-----|----------|------------------------|
| 1   | 04/28/26 | UPDATED SURVEY/GENERAL |

|         |                  |
|---------|------------------|
| Date    | OCTOBER 10, 2025 |
| Scale   | AS NOTED         |
| Drawn   | INDO             |
| Checked | CH/AS            |
| Project | 202211-SP        |

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Drawing No.  
**A1.1**



| No. | Date     | Revision               |
|-----|----------|------------------------|
| 1   | 04/26/26 | UPDATED SURVEY/GENERAL |

| Date             | Scale    | Drawn | Checked | Project   |
|------------------|----------|-------|---------|-----------|
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Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**PROPOSED  
TYPICAL  
FLOOR PLAN  
FLOOR  
THREE - FIVE**

| No. | Date     | Revision               |
|-----|----------|------------------------|
| 1   | 04/28/26 | UPDATED SURVEY/GENERAL |
|     |          |                        |
|     |          |                        |
|     |          |                        |
|     |          |                        |
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|     |          |                        |
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|     |          |                        |
|     |          |                        |

| Date             | Scale    | Drawn | Checked | Project   |
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Drawing No.  
**A1.3**



**1** **PROPOSED TYPICAL FLOOR PLAN - FLOORS THREE - FIVE**  
1/8" = 1'-0"







Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**WEST  
ELEVATION**

| No. | Date     | Revision         |
|-----|----------|------------------|
| 1   | 04/26/25 | GENERAL REVISION |
|     |          |                  |
|     |          |                  |
|     |          |                  |
|     |          |                  |
|     |          |                  |

|         |                  |
|---------|------------------|
| Date    | OCTOBER 10, 2025 |
| Scale   | AS NOTED         |
| Drawn   | INDO             |
| Checked | CP/AS            |
| Project | 202211-SP        |

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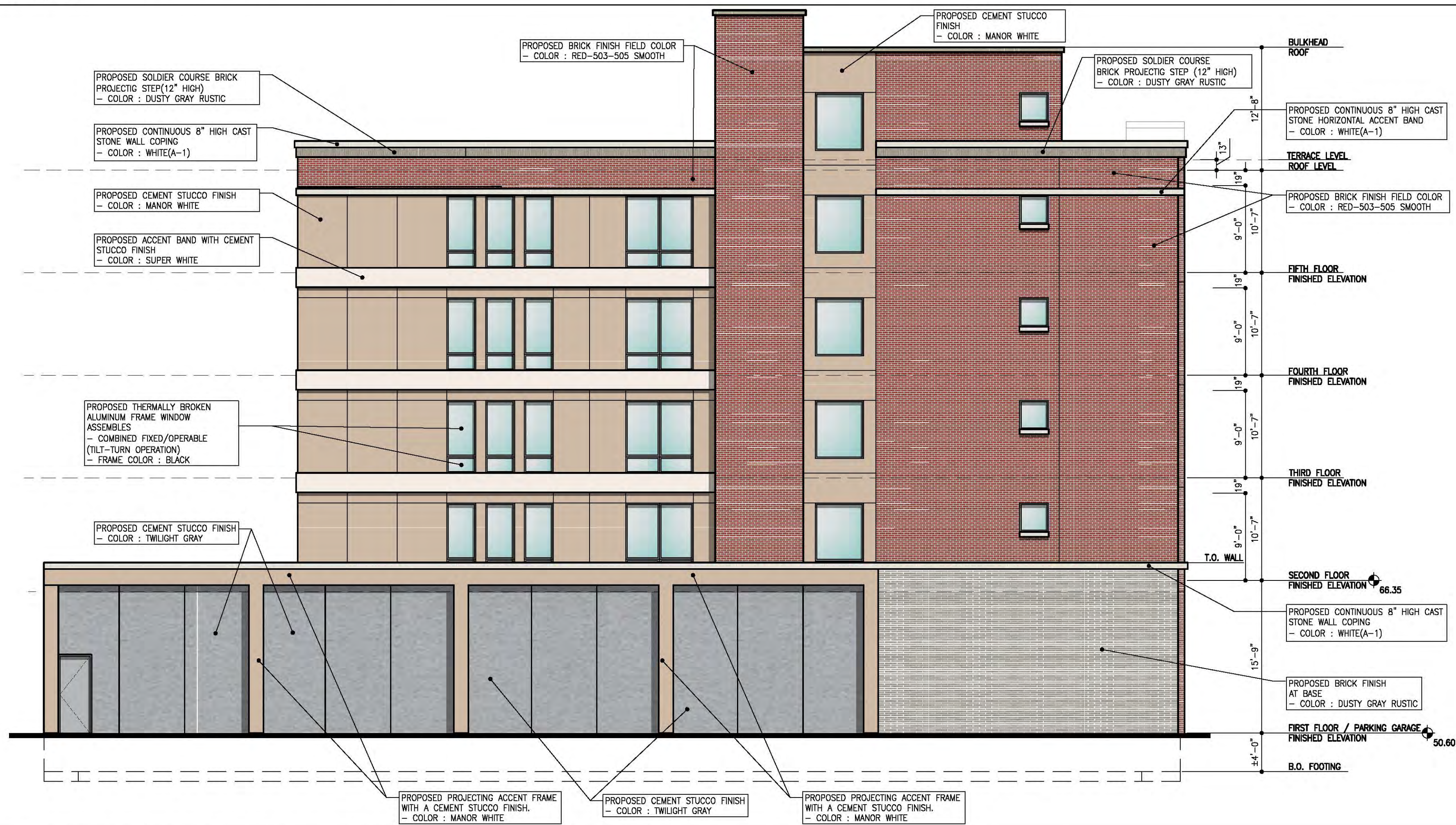
Drawing No.  
**A2.1**



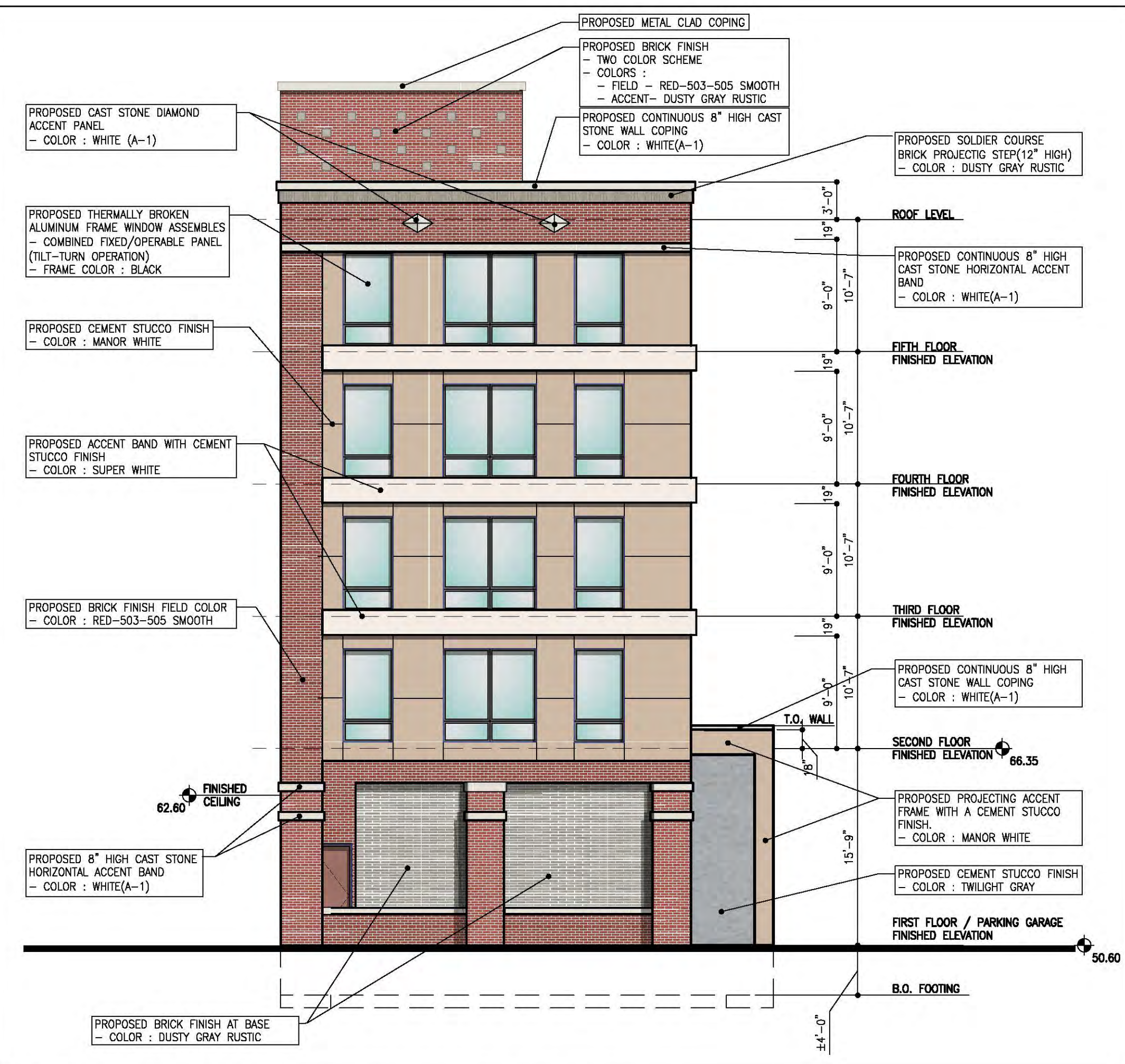




**1 PROPOSED EAST ELEVATION**  
1/8" = 1'-0"



**2 PROPOSED NORTH ELEVATION**  
1/8" = 1'-0"



**3 PROPOSED SOUTH ELEVATION**  
1/8" = 1'-0"

Project Title  
**RESIDENTIAL DEVELOPMENT**  
1012-1022 AVENUE C  
BLOCK 64 LOTS 2 & 3  
BAYONNE,  
NEW JERSEY

Drawing Title  
**PROPOSED  
ELEVATIONS**

| No. | Date     | Revision         |
|-----|----------|------------------|
| 1   | 04/26/25 | GENERAL REVISION |

|         |                  |
|---------|------------------|
| Date    | OCTOBER 10, 2025 |
| Scale   | AS NOTED         |
| Drawn   | INDO             |
| Checked | CP/AS            |
| Project | 202211-SP        |

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Drawing No.  
**A2.2**