

**JASON PEIST**  
ARCHITECT, LLC

171 BROAD ST. MATAWAN, NJ 07747  
973-534-8745 | WWW.JASONPEIST.COM

**FIRE DAMAGE REPAIR**  
**THREE-FAMILY RESIDENCE**  
**67 W 18TH ST**  
**BAYONNE, NJ 07002**  
**HUDSON COUNTY**

**GENERAL NOTES**

- 1. THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION CODE. ALL CONTRACTORS SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE AFORESAID CODE.
- 2. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, IS HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. A COMPLETE COPY OF THIS DOCUMENT IS ON FILE IN THE ARCHITECT'S OFFICE AND MAY BE REVIEWED UPON REQUEST.
- 3. ALL CONTRACTORS ARE TO PROVIDE NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL GOVERNING CODES ON SAFETY, INCLUDING STATE, LOCAL AND OSHA.
- 4. ALL BONDING AND INSURANCE REQUIREMENTS SHALL BE COORDINATED WITH THE OWNER PRIOR TO THE START OF CONSTRUCTION. INSURANCE SHALL INCLUDE, BUT IS NOT LIMITED TO: WORKMEN'S COMPENSATION INSURANCE----- \$500,000. COMPREHENSIVE GENERAL LIABILITY INSURANCE-----\$1,000,000. COMPREHENSIVE AUTOMOBILE LIABILITY INSURANCE - \$1,000,000.
- 5. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL CLAIMS ARISING FROM THE CONSTRUCTION OF THIS PROJECT.
- 6. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT IS REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.
- 7. IN THE ABSENCE OF AN OWNER-ARCHITECT AGREEMENT FOR CONSTRUCTION ADMINISTRATION, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR FIELD COORDINATION OF CONSTRUCTION, REVIEW AND PROCESSING OF SHOP DRAWINGS AND IN GENERAL, CONSTRUCTION ADMINISTRATION.
- 8. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE CODES.
- 9. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND ALL FIELD DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CORRECTION BEFORE BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE START OF WORK SHALL BE EVIDENCE OF FAULTY PREPARATION ON THE PART OF THE CONTRACTOR AND THE COST OF CORRECTION SHALL BE BORNE BY THE CONTRACTOR.
- 10. CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- 11. DO NOT SCALE DRAWINGS.
- 12. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR FILING FOR BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.
- 13. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- 14. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT FOR OWNERS AND ARCHITECT'S REVIEW A COMPREHENSIVE CONSTRUCTION SCHEDULE, SHOWING STARTING DATE, COMPLETION DATE, START OF EACH MAJOR PHASE OF WORK, SUCH AS FOUNDATION, FRAMING, WIRING, ETC.
- 15. THESE CONSTRUCTION DRAWINGS AND DOCUMENTS DO NOT ASSIGN WORK TO A SPECIFIC TRADE OR SUBCONTRACTOR. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DIVIDE THE WORK AMONG HIS SUPPLIERS AND SUBCONTRACTORS AS HE SEES FIT AND ACCORDING TO HIS CONTRACTUAL AGREEMENT WITH HIS SUPPLIERS AND SUBCONTRACTORS.
- 16. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK INDICATED IN THE CONSTRUCTION DRAWINGS AND DOCUMENTS. ANY ITEMS NOT SPECIFICALLY MENTIONED BUT REQUIRED TO MAKE THE WORK COMPLETE SHALL BE INCLUDED AT NO ADDITIONAL COST TO THE OWNER.

**ELECTRICAL**

- 1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, NFPA 70, LATEST EDITION.
- 2. ALL LIGHT FIXTURES, APPLIANCES, EQUIPMENT AND DEVICES SHALL BE UL LISTED FOR ITS INTENDED USE.
- 3. ARC FAULT CIRCUIT INTERRUPTER PROTECTION SHALL BE REQUIRED FOR ALL NEWLY INSTALLED (NOT REPLACEMENT) BRANCH CIRCUITS IN DWELLING UNITS.

**MOLD AND MILDEW**

- 1. THERE IS NO MOLD OR MILDEW RELATED WORK IN THIS CONTRACT. IF THE PRESENCE OF MOLD OR MILDEW IS SUSPECTED, CONFIRMATION AND REMEDIATION SHALL BE UNDERTAKEN BY OTHERS TRAINED, LICENSED AND INSURED FOR THAT TYPE OF WORK.

**ASBESTOS ABATEMENT**

- 1. THERE IS NO ASBESTOS RELATED WORK IN THIS CONTRACT.
- 2. THE BUILDING IN WHICH THIS CONTRACT IS TO BE PERFORMED MAY HAVE ASBESTOS CONTAINING MATERIAL. THE OWNER SHALL INFORM THE BIDDERS, IF IT IS KNOWN TO CONTAIN ACM AND SHALL ARRANGE FOR A LICENSED ASBESTOS ABATEMENT CONTRACTOR TO ABATE OR REMOVE THE ASBESTOS CONTAINING MATERIAL SEPARATE FROM THIS CONTRACT.
- 3. IF THE CONTRACTOR UNCOVERS OR DISCOVERS A MATERIAL THAT MAY CONTAIN ASBESTOS, WORK SHALL STOP IMMEDIATELY AND THE OWNER'S PROJECT MANAGER SHALL BE NOTIFIED. THE OWNER SHALL ARRANGE FOR A TESTING LAB TO CONFIRM THE EXISTENCE OF ASBESTOS AND ARRANGE FOR ITS ABATEMENT OR REMOVAL.

**EXTERIOR WINDOWS AND DOORS**

- 1. EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED INSPECTION AGENCY TO INDICATED COMPLIANCE WITH AAMA/WDMA/CSA 101/1.S.2/A440.
- 2. EXTERIOR SIDE HINGED DOORS SHALL BE TESTED AND LABELED AS CONFORMING TO AAMA/WDMA/CSA 101/1.S.2/A440 OR COMPLY WITH ASTM E 330.
- 3. EXCEPTION: DECORATIVE GLAZED OPENINGS.

**CARBON MONOXIDE ALARM**

- 1. SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND MAINTAINED IN FULL OPERATING CONDITION IN THE IMMEDIATE VICINITY OF EACH SLEEPING AREA IN ANY DWELLING UNIT IF THE DWELLING UNIT CONTAINS A FUEL BURNING APPLIANCE OR HAS AN ATTACHED GARAGE.
- 2. CARBON MONOXIDE ALARMS SHALL BE MANUFACTURED, LISTED AND LABELED IN ACCORDANCE WITH UL 2004 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THIS SECTION AND NFPA 720.
- 3. CARBON MONOXIDE ALARMS SHALL BE BATTERY OPERATED, HARDWIRED OR OF THE PLUG IN TYPE.

**SMOKE ALARM**

- 1. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE, AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- 2. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM; OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS;

ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND ATTICS, BUT NOT INCLUDING CRAWL SPACES.

- 3. ALL ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE DWELLING.

**LEAD PAINT ABATEMENT**

- 1. IN ADDITION TO REQUIREMENTS GOVERNING THE DISTURBANCE OF LEAD BASED PAINT UNDER UNIFORM CONSTRUCTION CODE 9-23-6 REHAB SUBCODE, THE CONTRACTOR SHALL MEET ALL REQUIREMENTS ADOPTED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (US EPA) FOR LEAD BASED PAINT RENOVATION, REPAIR AND PAINTING (RRP).
- 2. CONTRACTOR SHALL BE CERTIFIED BY US EPA IN THE APPROPRIATE CATEGORY TO PERFORM WORK INVOLVING LEAD BASE PAINT.
- 3. THIS CERTIFICATION SHALL BE SHOWN TO THE HOME OWNER OR OCCUPANT OF THE SPACE IN WHICH WORK IS BEING DONE.
- 4. CONTRACTOR SHALL PROVIDE THE OWNER OR OCCUPANT THE PAMPHLET "RENOVATE RIGHT, IMPORTANT LEAD HAZARD INFORMATION FOR FAMILIES, CHILD CARE PROVIDERS AND SCHOOLS".
- 5. IN ADDITION TO THE ABOVE EPA REQUIREMENTS, THE FOLLOWING PRACTICES SHALL NOT BE USED ON PAINTED SURFACES IN ALL RESIDENTIAL BUILDINGS THAT WERE CONSTRUCTED BEFORE 1978 UNLESS THE PAINTED SURFACE HAS BEEN TESTED AND FOUND TO BE FREE OF LEAD-BASED PAINT:
  - A. PEN FLAME BURNING OR THE USE OF HIGH TEMPERATURE (IN EXCESS OF 1100 DEGREES FAHRENHEIT) HEAT GUNS.
  - B. POWER SANDING OR SANDBLASTING, UNLESS A SPECIAL HEPA (HIGH EFFICIENCY PARTICULATE AIR) FILTER EQUIPPED
  - C. VACUUM ATTACHMENT IS USED TO CONTAIN DUST.
  - D. UNCONTAINED WATER BLASTING OR POWER WASHING.
  - E. DRY SCRAPING OR SANDING MORE THAN TWO SQUARE FEET PER ROOM (INTERIOR) OR 10 SQUARE FEET OR MORE PER BUILDING (EXTERIOR).
  - F. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN THE NECESSARY INFORMATION TO DETERMINE THE PRESENCE OF ANY LEAD BASED PAINT.

**PLUMBING**

- 1. ALL PLUMBING WORK SHALL COMPLY WITH THE NATIONAL PLUMBING CODE, LATEST EDITION.

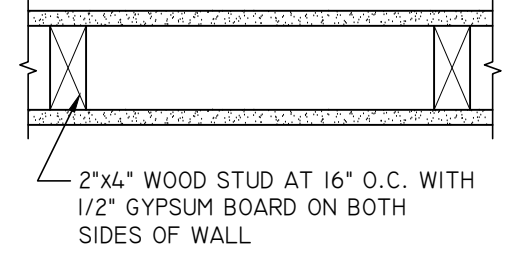
**STAIR NOTES:**

- SEE PLANS FOR STAIR LAYOUT.
- RISERS SHALL BE DESIGNED TO BE APPROXIMATELY 7" HIGH WITH 1" TREADS. NUMBER OF RISERS AND DIMENSION SHALL BE SET BY FLOOR ELEVATIONS. RISERS MUST NOT EXCEED 7 INCHES! THE MAX. DIFFERENCE BETWEEN ANY RISER HEIGHT IS NOT TO EXCEED 3/8". HAND RAIL HEIGHTS SHALL BE 36" ABOVE STAIR NOSING AND LANDING.
- BALUSTERS AND INTERMEDIATE RAILS TO BE SPACED SO AS NOT TO ALLOW THE PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.
- INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OF 40 PSF OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.
- HAND RAILS AND GUARD RAILS SHALL SUPPORT A SINGLE CONCENTRATED LOAD OF 200 LBS PER LINEAR FOOT IN ANY DIRECTION AT THE TOP.
- PROVIDE A MINIMUM OF 1 1/2" CLEARANCE BETWEEN THE HAND RAIL AND WALL OR OTHER SURFACE.
- PROVIDE A MINIMUM 5" STRINGER THROAT DEPTH WHEN CUTTING STRINGER FOR RISER AND TREAD
- FRAME STAIR OPENINGS IN FLOOR FRAMING BASED ON STAIR FABRICATOR'S CONNECTION DETAIL TO FLOOR FRAMING.
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS, SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING

**FIREBLOCKING**

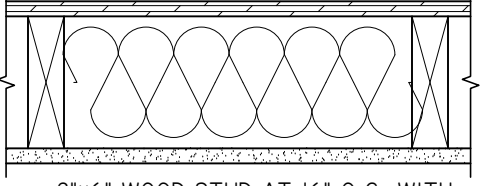
- 1. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD FRAMED CONSTRUCTION IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
  - A. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  - B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
  - C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - D. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - E. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
  - F. AROUND FIREPLACES AND CHIMNEYS.
- 2. FIREBLOCKING MATERIALS SHALL BE ONE OF THE FOLLOWING:
  - A. NOMINAL 2 INCH THICK LUMBER.
  - B. 1/2 INCH THICK GYPSUM BOARD.
  - C. WITHIN WALL CAVITIES, MINERAL WOOL OR GLASS FIBER INSULATION THAT FILLS THE ENTIRE CROSS SECTION OF THE WALL CAVITY AND IS AT LEAST 16 INCHES HIGH SHALL COMPLY WITH 10 FEET SPACING FOR FIREBLOCKING.

INSTALL 4" SOUND ATTENUATION BLANKET AT ALL BATHROOM WALLS AND BEDROOMS

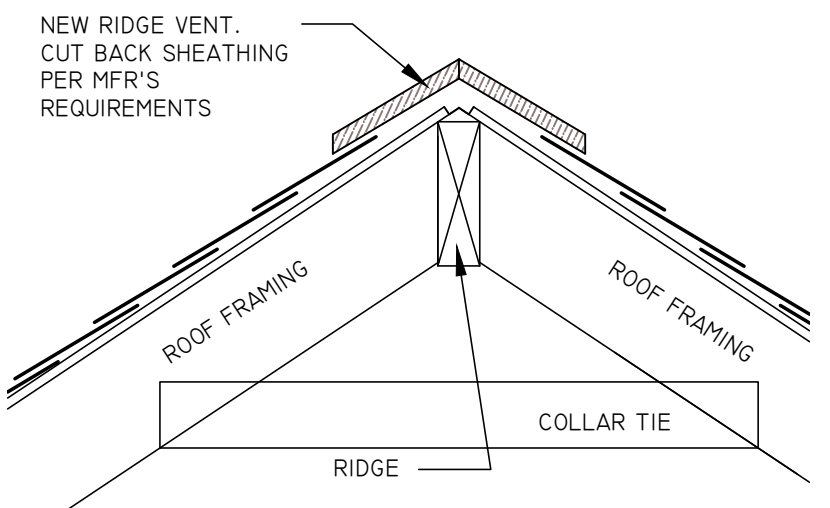


**2 INTERIOR WALL TYPE**

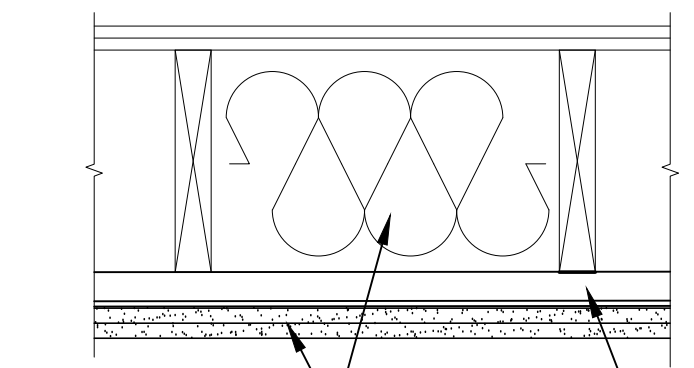
EXTERIOR WALL FINISH ON WEATHER RESISTANT BARRIER ON 5/8" FIRE RATED GWB SHEATHING



**1A EXTERIOR RATED WALL TYPE TYPICAL 1 HOUR**



**A RIDGE DETAIL**  
NOT TO SCALE



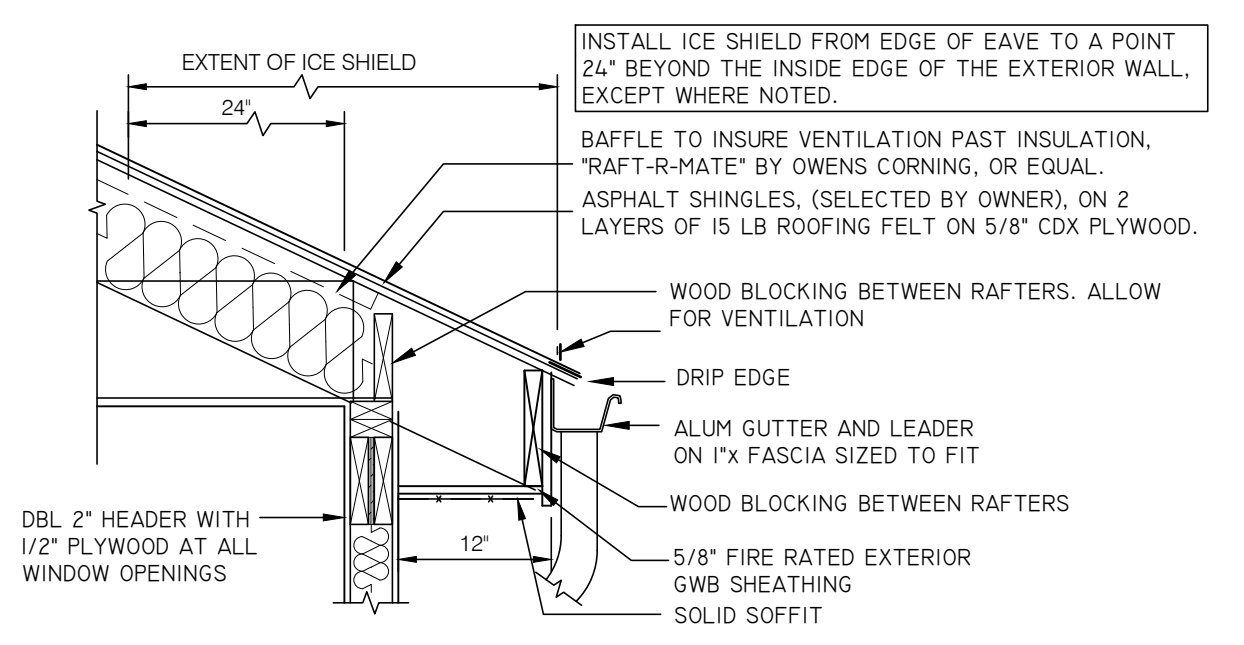
**1 HOUR FIRE RATED FLOOR/CEILING ASSEMBLY**  
GYSPUM ASSOC. FILE NO. FC 5406  
SCALE: 1 1/2" = 1'-0"

**CONSTRUCTION LEGEND**

- EXISTING WALL TO REMAIN
- NEW FURRED WALL 2"x4"
- WALL REBUILT IN PLACE
- NEW SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

**ELECTRICAL LEGEND**

- DUPLEX ELECTRICAL RECEPTACLE
- DUPLEX ELECTRICAL RECEPTACLE WITH GROUND FAULT PROTECTION
- LIGHT SWITCH



**E FIRE RATED EAVE DETAIL**  
SCALE: 3/4" = 1'-0"

**APPLICABLE CODES- NEW JERSEY**

- NEW JERSEY UNIFORM CONSTRUCTION CODE REHABILITATION SUBCODE N.J.U.C.C. SUBCHAPTER 6 6:23-6.4 REPAIR 6:23-6.6 ALTERATION 6:23-6.7 RECONSTRUCTION
- INT'L. BUILDING CODE 2021, NJ EDITION
- MECHANICAL SUBCODE (NJAC 5:23-3.20) INT'L MECHANICAL CODE 2021
- ELECTRICAL SUBCODE (NJAC 5:23-3.16) NATIONAL ELECTRICAL CODE (NFPA 70) 2020
- PLUMBING SUBCODE (NJAC 5:23-3.15) NATIONAL STANDARD PLUMBING CODE 2021
- ENERGY SUBCODE (NJAC 5:23-3.18) FUEL GAS SUBCODE (NJAC 5:23-3.22) INT'L FUEL GAS CODE 2021

**BUILDING DATA**

JOB TYPE:	REHABILITATION EXISTING 2-FAMILY
No. OF STORIES:	2.5 STORIES
BUILDING HEIGHT:	NO CHANGE
USE GROUP:	R-3
CONSTRUCTION CLASS:	5B
DESCRIPTION OF WORK:	REHABILITATION EXISTING 3-FAMILY RESIDENCE. FIRE DAMAGE, REPLACE STAIR TO UPPER LEVEL.
<b>BUILDING AREA</b>	
FLOOR:	EXISTING
LOWER LEVEL:	1150 SF
1ST FLOOR AREA (CONDITIONED):	1280 SF
2ND FLOOR AREA (CONDITIONED):	1165 SF
UPPER LEVEL (CONDITIONED):	704 SF
TOTAL AREA:	3,149 SF

**REVISIONS:**

#	DESCRIPTION:	DATE:
ISSUED FOR PERMITS		4/25/2022

**DRAWING TITLE:**  
PROPOSED PLANS

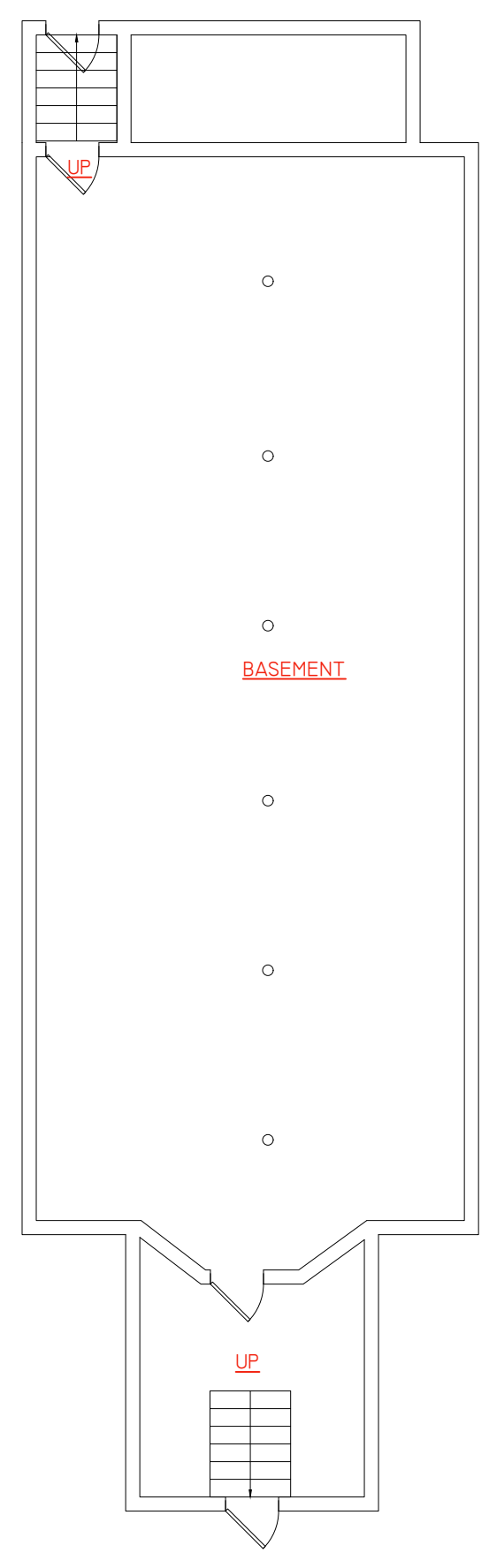
**ARCHITECTURAL LICENSE #:**  
NJ # 21A102035200  
NY # 039598

*Jason Peist*  
JASON PEIST, AIA - ARCHITECT

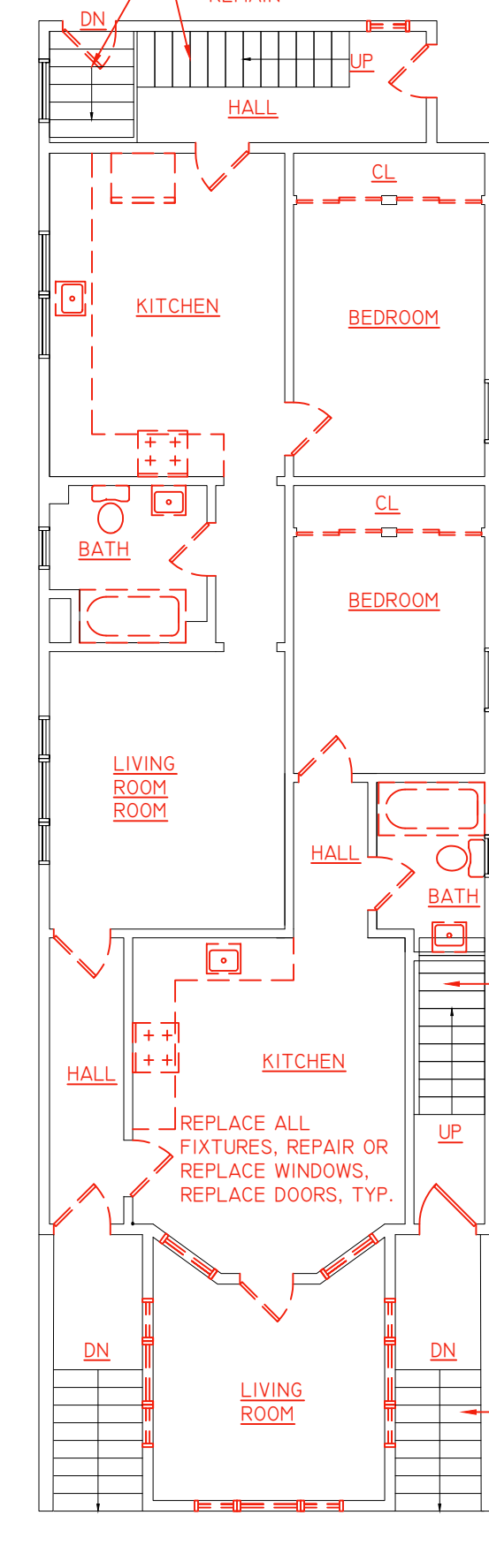
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**DATE:** 4/25/22  
**SCALE:** 22-089  
**AS NOTED**  
**DRAWN BY:** J.R.P.  
**SHEET:** 1 OF 2

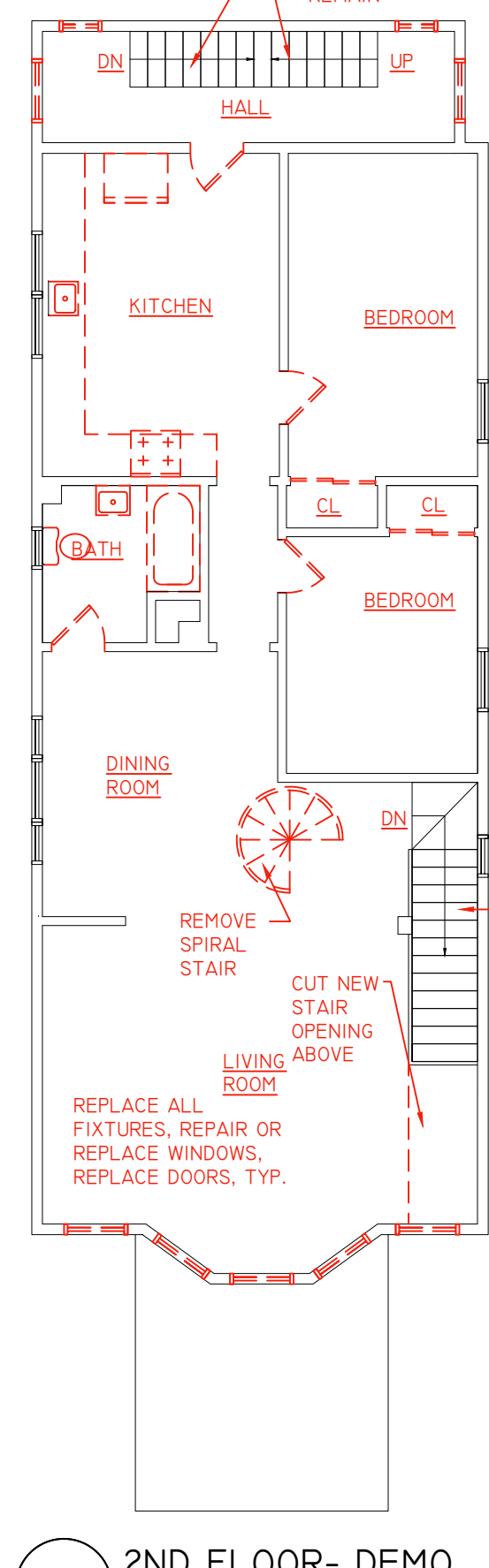
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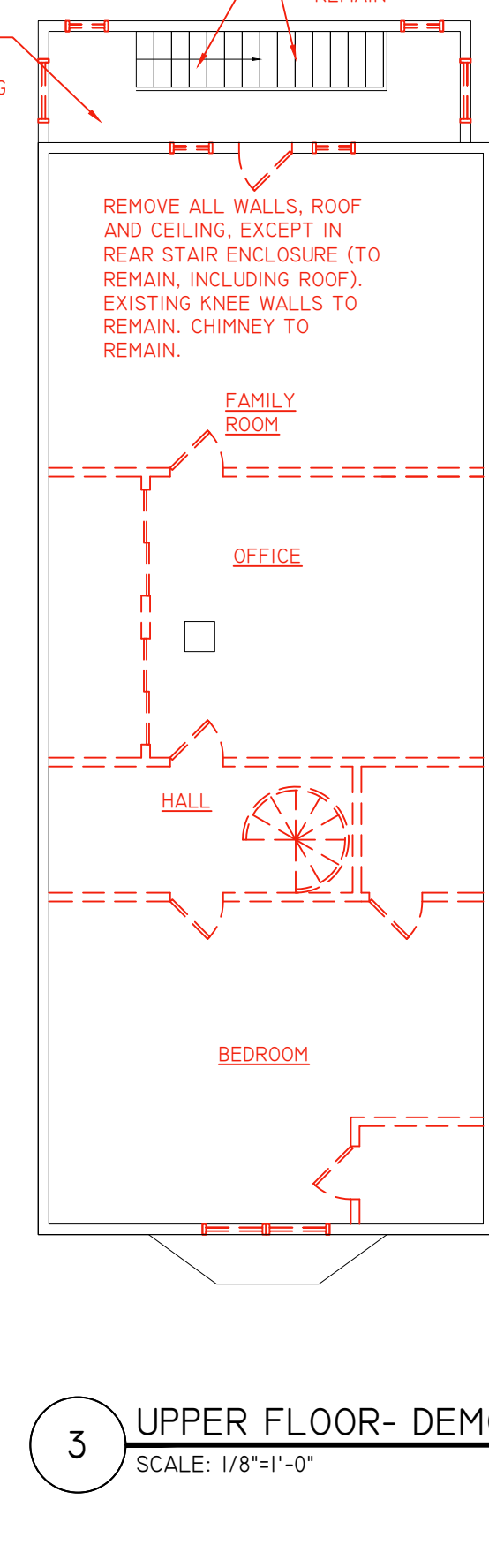
**0 LOWER FLOOR**  
SCALE: 1/8" = 1'-0"



**1 1ST FLOOR- DEMO**  
SCALE: 1/8" = 1'-0"



**2 2ND FLOOR- DEMO**  
SCALE: 1/8" = 1'-0"



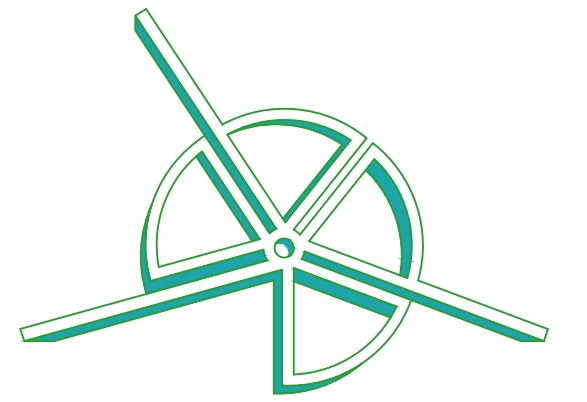
**3 UPPER FLOOR- DEMO**  
SCALE: 1/8" = 1'-0"

**GA FILE NO. WP 3242**

GENERIC	1 HOUR FIRE	50 to 54 STC SOUND
<b>GYPSUM WALLBOARD, RESILIENT CHANNELS, MINERAL OR GLASS FIBER INSULATION, WOOD STUDS</b> Resilient channels 16" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 24" o.c. with 1/4" Type S drywall screws. One layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to channels with 1" Type S drywall screws 8" o.c. with vertical joints located midway between studs. 3" mineral or glass fiber insulation in stud space. OPPOSITE SIDE: One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to studs with 6d cement coated nails, 17/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Vertical joints staggered 24" on opposite sides. (LOAD-BEARING)	 Thickness: 5 1/2" Approx. Weight: 7 psf Fire Test: Based on UL R14196, 09N05371, 2-15-05, UL Design U309, NRCC TL-93-088, IRC-IR-761, 3/98	

**F FIRE-RATED WALLS**  
NOT TO SCALE

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**JASON PEIST**  
ARCHITECT, LLC

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**FIRE DAMAGE REPAIR**  
**THREE-FAMILY RESIDENCE**  
**67 W 18TH ST**  
**BAYONNE, NJ 07002**  
**HUDSON COUNTY**

#	DESCRIPTION:	DATE:
1	ISSUED FOR PERMITS	4/25/2022

DRAWING TITLE:  
PROPOSED PLANS  
ARCHITECTURAL LICENSE #:  
NJ # 21A102035200  
NY # 039598

*Jason Peist*

JASON PEIST, AIA - ARCHITECT

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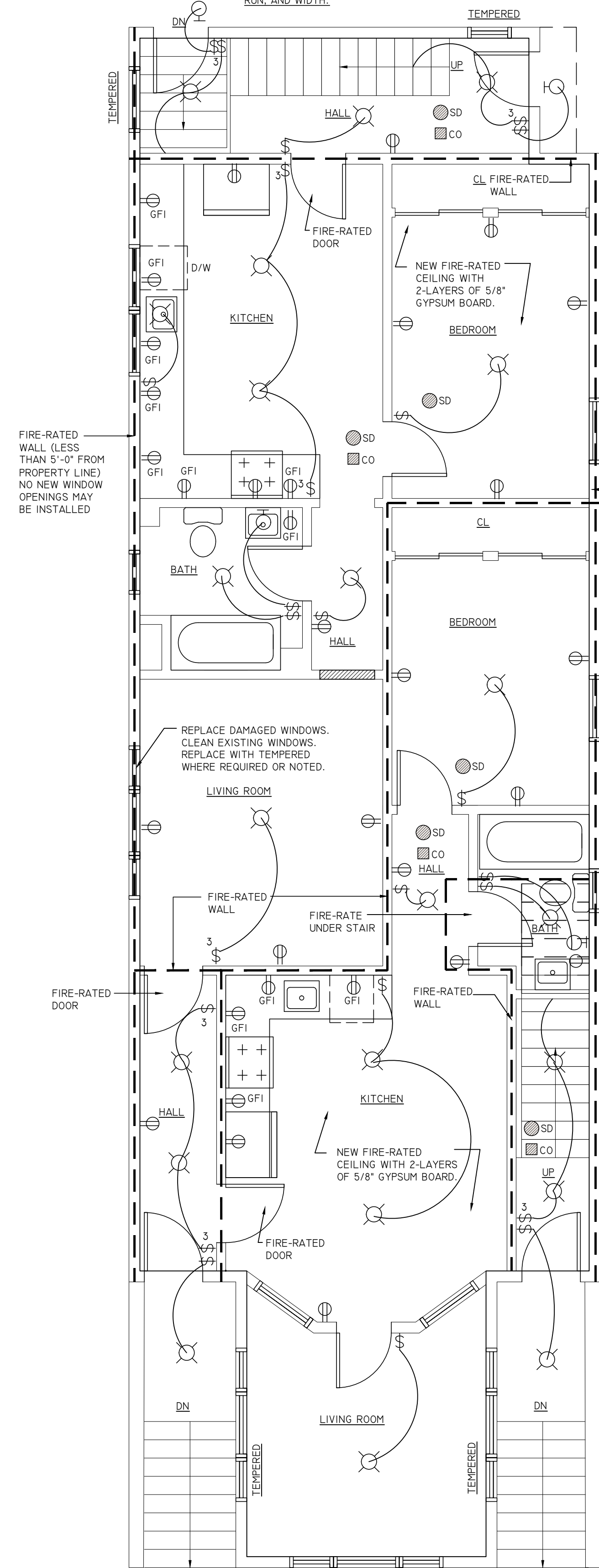
DATE: 4/25/22  
SCALE: 22-089  
AS NOTED SHEET: 2 OF 2  
DRAWN BY: J.R.P.

DRAWING NUMBER  
**A-102.00**

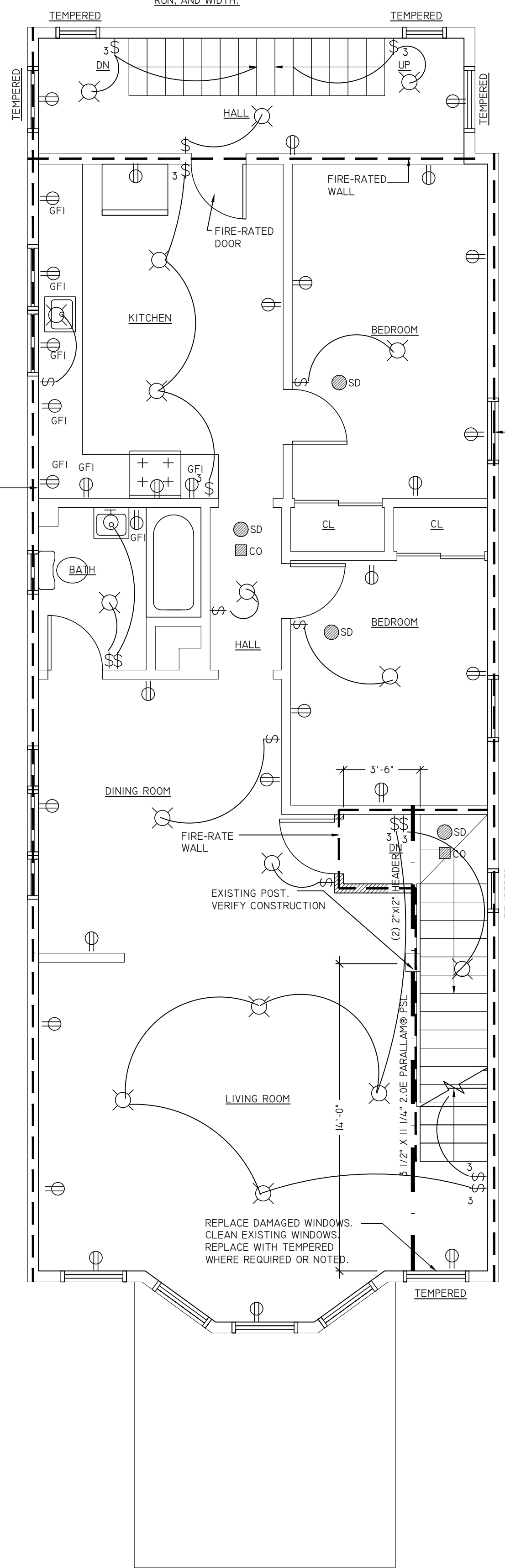
NOTE: EXISTING STAIR AND HALLWAY DOES NOT MEET CODE REQUIREMENTS FOR WIDTH. IF STAIR IS REPLACED, IT SHALL MEET ALL NEW CODE REQUIREMENTS, INCLUDING RISE AND RUN, AND WIDTH.

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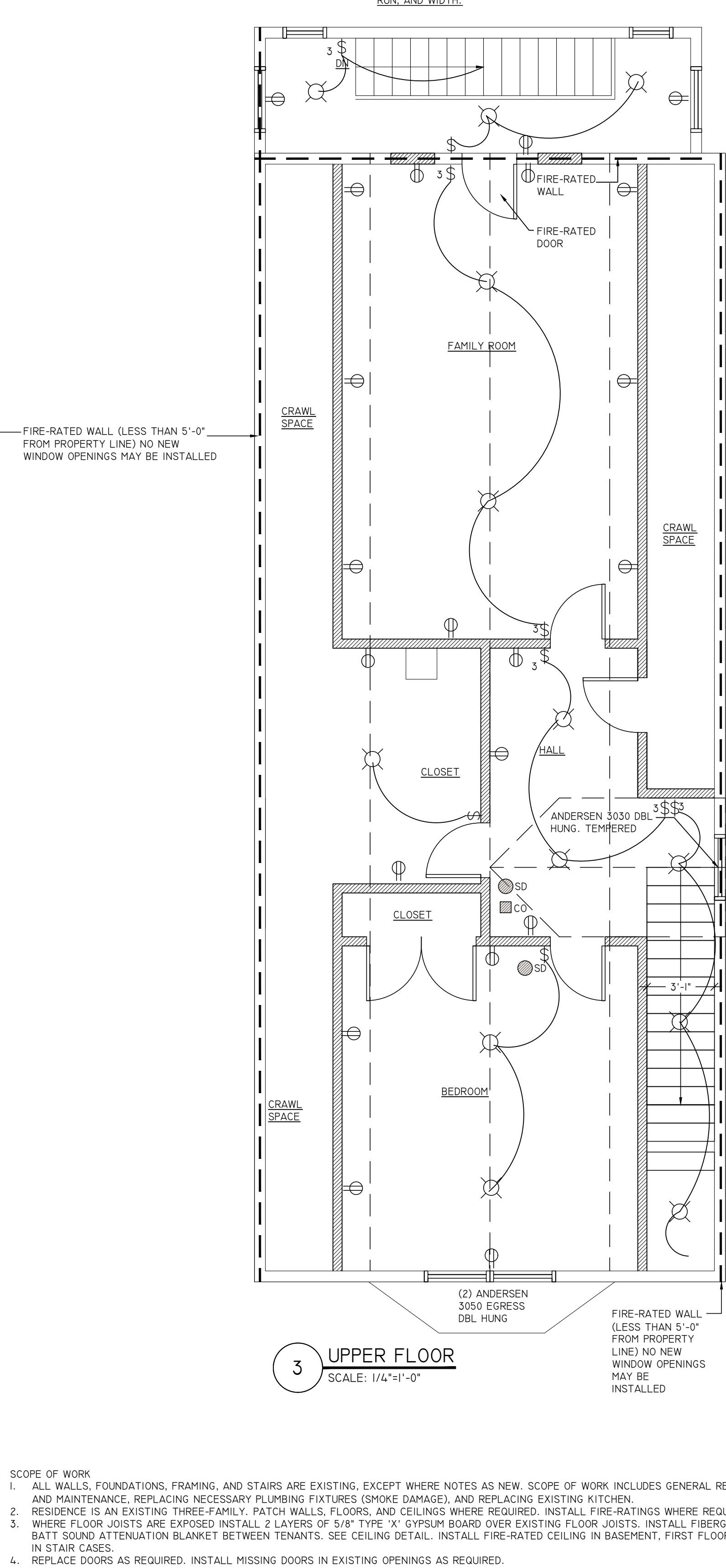
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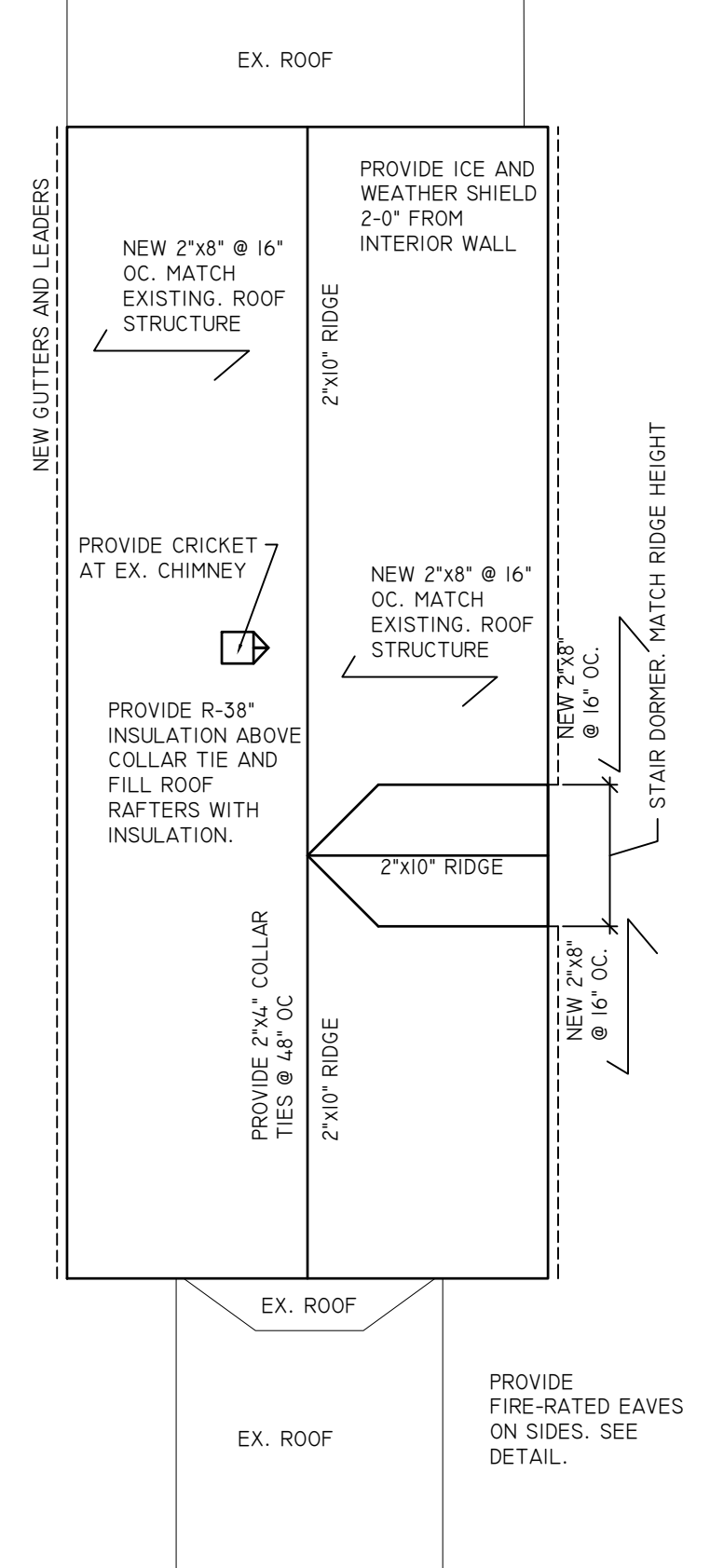
**1 FIRST FLOOR**  
SCALE: 1/4"=1'-0"



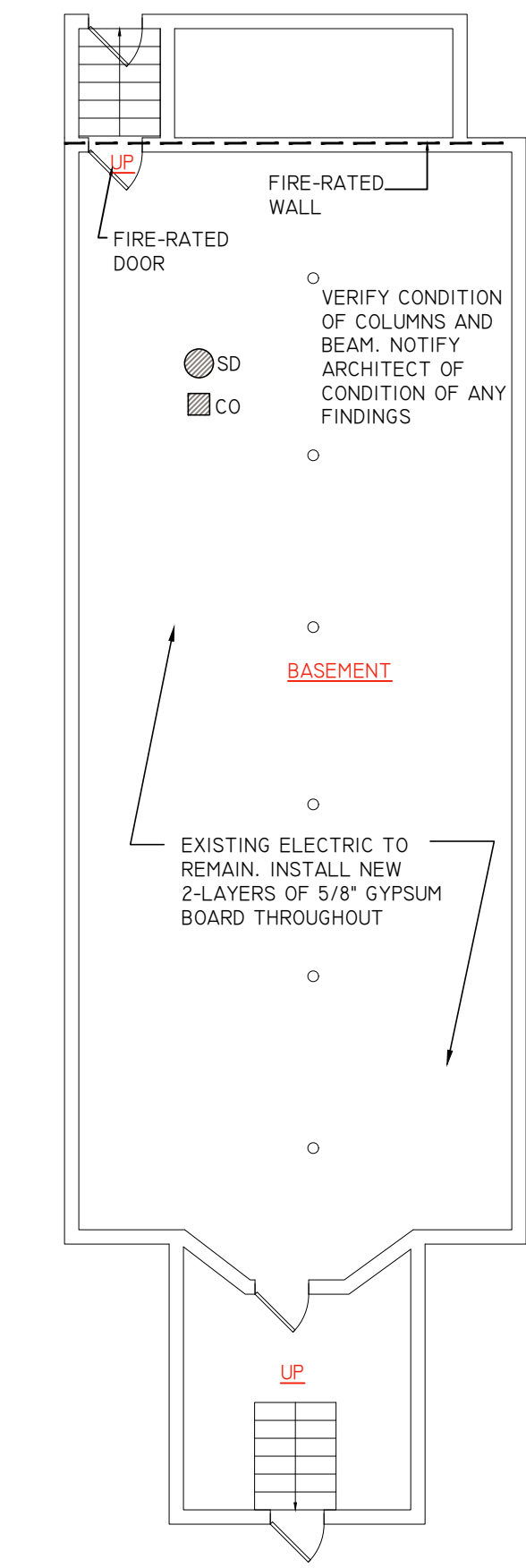
**2 SECOND FLOOR**  
SCALE: 1/4"=1'-0"



**3 UPPER FLOOR**  
SCALE: 1/4"=1'-0"



**4 ROOF**  
SCALE: 1/8"=1'-0"



**0 LOWER FLOOR**  
SCALE: 1/8"=1'-0"

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- SCOPE OF WORK
- ALL WALLS, FOUNDATIONS, FRAMING, AND STAIRS ARE EXISTING, EXCEPT WHERE NOTES AS NEW. SCOPE OF WORK INCLUDES GENERAL REPAIRS AND MAINTENANCE, REPLACING NECESSARY PLUMBING FIXTURES (SMOKE DAMAGE), AND REPLACING EXISTING KITCHEN.
  - RESIDENCE IS AN EXISTING THREE-FAMILY. PATCH WALLS, FLOORS, AND CEILINGS WHERE REQUIRED. INSTALL FIRE-RATINGS WHERE REQUIRED.
  - WHERE FLOOR JOISTS ARE EXPOSED INSTALL 2 LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD OVER EXISTING FLOOR JOISTS. INSTALL FIBERGLASS BATT SOUND ATTENUATION BLANKET BETWEEN TENANTS. SEE CEILING DETAIL. INSTALL FIRE-RATED CEILING IN BASEMENT, FIRST FLOOR, AND IN STAIR CASES.
  - REPLACE DOORS AS REQUIRED. INSTALL MISSING DOORS IN EXISTING OPENINGS AS REQUIRED.
  - EXISTING WINDOWS TO REMAIN, EXCEPT WHERE DAMAGED. REPAIR GLASS OR REPLACE WINDOWS IN KIND WITH A MINIMUM U-VALUE OF .32. TEMPERED GLASS TO BE INSTALLED WHERE REQUIRED BY CODE, NOT LIMITED TO:
    - ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
    - ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
    - ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
    - ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.
  - ALL BEDROOMS ARE TO RECEIVE SMOKE DETECTORS. INSTALL AN ADDITIONAL SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR OUTSIDE OF SLEEPING AREAS IN THE HALLWAY AS INDICATED ON PLAN. INSTALL SMOKE DETECTOR AND CO DETECTOR IN LOWER LEVEL.
  - IN WET LOCATIONS SUCH AS KITCHENS AND BATHROOMS, INSTALL GFI OUTLETS WHERE WORK IS BEING COMPLETED.
  - EXISTING EXTERIOR WALL FINISH TO REMAIN, TYPICAL. FILL WALL CAVITIES WITH INSULATION, WHERE FINISH IS REMOVED. INSTALL FIRE-RATED WALL.
  - SISTER ROOF STRUCTURE OR REPLACE WHERE REQUIRED. FILL CEILING WITH INSULATION.