

OWNER / APPLICANT:

JOHN & MARYAN, LLC
140 BLEECKER STREET
JERSEY CITY, NJ 07307

CHAIRPERSON, PLANNING BOARD

SECRETARY, PLANNING BOARD

MUNICIPAL ENGINEER

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR RESIDENTIAL REDEVELOPMENT

1012-1022 AVENUE C
BLOCK 64, LOT 2&3
BAYONNE, NEW JERSEY

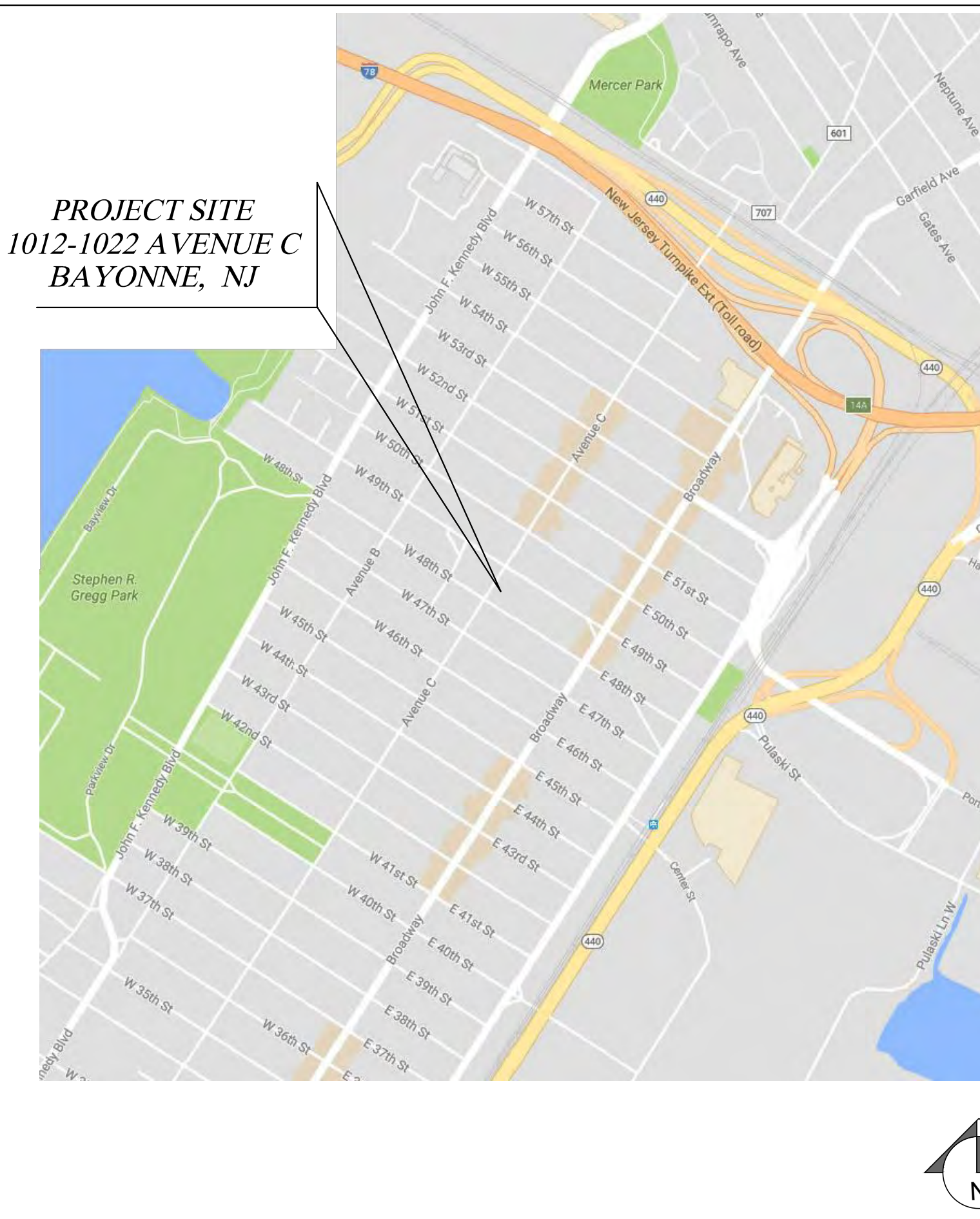
© DAL DESIGN GROUP, 2025

RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

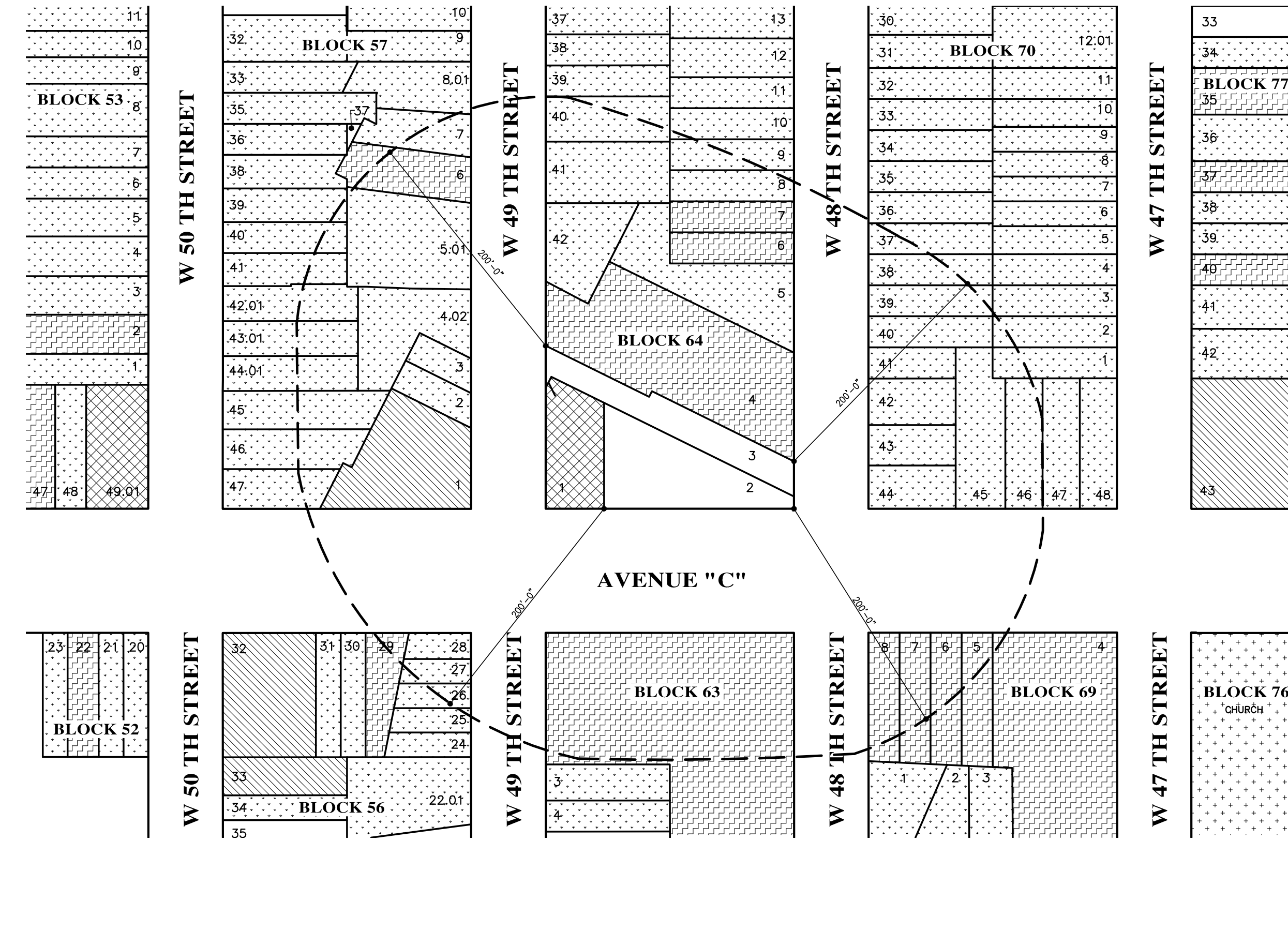
TITLE AND
INFORMATION
SHEET

ZONING COMPARISON CHART			
● ZONING DISTRICT:	1012-1022 AVENUE C REDEVELOPMENT PLAN		
● LOCATION:	1012-1022 AVENUE C		
● BLOCK:	64		
● LOT(S):	2 & 3		
● LOT AREA:	12,473.8 SQ. FT.		
SITE INFORMATION TABLE			
DESCRIPTION	REDEVELOPMENT PLAN STANDARDS	PROPOSED	COMPLIES
1 USE	MULTIFAMILY DWELLINGS	MULTIFAMILY DWELLINGS	YES
2 BULK REQUIREMENTS	LOT 2 & 3 AREA	LOT 2 & 3 AREA	YES
MIN. LOT AREA	153 FT. (AVENUE C)	153 FT.	YES
MIN. LOT FRONTAGE	63 FT. (WEST 48TH ST.)	38.17 FT.	NO
FRONT YARD SETBACK	34 FT. (WEST 49TH ST.)	33.24 FT.	YES
	0-5 FT. (AVENUE C)	0 FEET	YES
	0-5 FT. (WEST 48TH ST.)	0 FEET	YES
	0 FT. (WEST 49TH ST.)	20 FT.	YES
REAR YARD SETBACK (BLOCK 64 LOT 4)	0 FT. (GROUND FLOOR) / 5 FT. (ABOVE)	0 FT. (GROUND)/5FT. (ABOVE)	YES
SIDE YARD SETBACK (BLOCK 64 LOT 1)	3 FT. MIN. / 5FT. MAX	4 FT.	YES
3 MAXIMUM HEIGHT - STORIES	5 STORIES	5 STORIES	YES
MAXIMUM HEIGHT - FEET	65 FT. (IF 1ST FLOOR USED FOR PARKING)	57.83 FT.	YES
4 LOT COVERAGE	95% WITH GREEN ROOF OFFSET (COVERAGE INCREASES LOT COVERAGE AT 1:1) PERMITTED = 100%	94.8%	YES
5 MIN. RESIDENTIAL UNIT SIZES	STUDIO - 500 SQ. FT. ONE-BEDROOM - 650 SQ. FT. TWO-BEDROOM - 800 SQ. FT.	N/A 675 SQ. FT. 800 SQ. FT.	N/A YES YES
6 OPEN SPACE/ RECREATION	1871 SQ. FT. (15% LOT AREA)	1150 SQ. FT. (ROOF TERRACE) 2595 SQ. FT. (GREEN ROOF)	YES
7 ROOFTOP AMENITY SETBACK	5 FT.	13 FT. & 24 FT.	YES
8 PARKING	RESIDENTIAL PARKING BIKE STORAGE SPACES	44 SPACES 22 SPACES	YES YES
9 CURB CUT	24 FEET - WITHIN 10 FT. OF BLOCK CENTERLINE	24 FEET - 9"-11" FROM BLOCK CENTERLINE	YES
10 SIGNS	125 SQ. FT. (3 SIGNS MAX.)	100 SQ. FT. (3 SIGNS)	YES

LIST OF DRAWINGS	
T0.1	TITLE AND INFORMATION SHEET
C1.1	SITE LAYOUT, DEMOLITION PLAN AND NOTES
C1.2	SITE GRADING, UTILITIES PLAN AND NOTES
C1.3	SITE LIGHTING, LANDSCAPING , ROOF LAYOUT, NOTES AND DETAILS
C1.4	TRAFFIC PLAN AND NOTES
C1.5	WASTE MANAGEMENT PLAN
C1.6	SITE SOIL EROSION AND SEDIMENT CONTROL PLAN
C2.1	SITE DETAILS
C2.2	SITE DETAILS
A1.1	PROPOSED FIRST FLOOR PLAN
A1.2	PROPOSED FLOOR PLAN-FLOOR 2
A1.3	PROPOSED FLOOR PLAN-FLOOR 3-5
A1.4	PROPOSED ROOF PLAN
A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS



A KEY MAP
1" = 300'-0"



B 200 FOOT RADIUS MAP
1" = 80'-0"

SITE LEGEND - LAND USES

- USE GROUP - RESIDENTIAL (1-2 FAMILY)
- USE GROUP - MULTI-FAMILY
- USE GROUP - COMMERCIAL / OFFICE
- USE GROUP - COMMERCIAL / RESIDENTIAL
- USE GROUP - CHURCH

RESIDENTIAL UNIT MIX		
UNIT TYPE	NUMBER OF UNITS	UNIT MIX
1 BR.	24	60%
2 BR.	16	40%
	40	100%

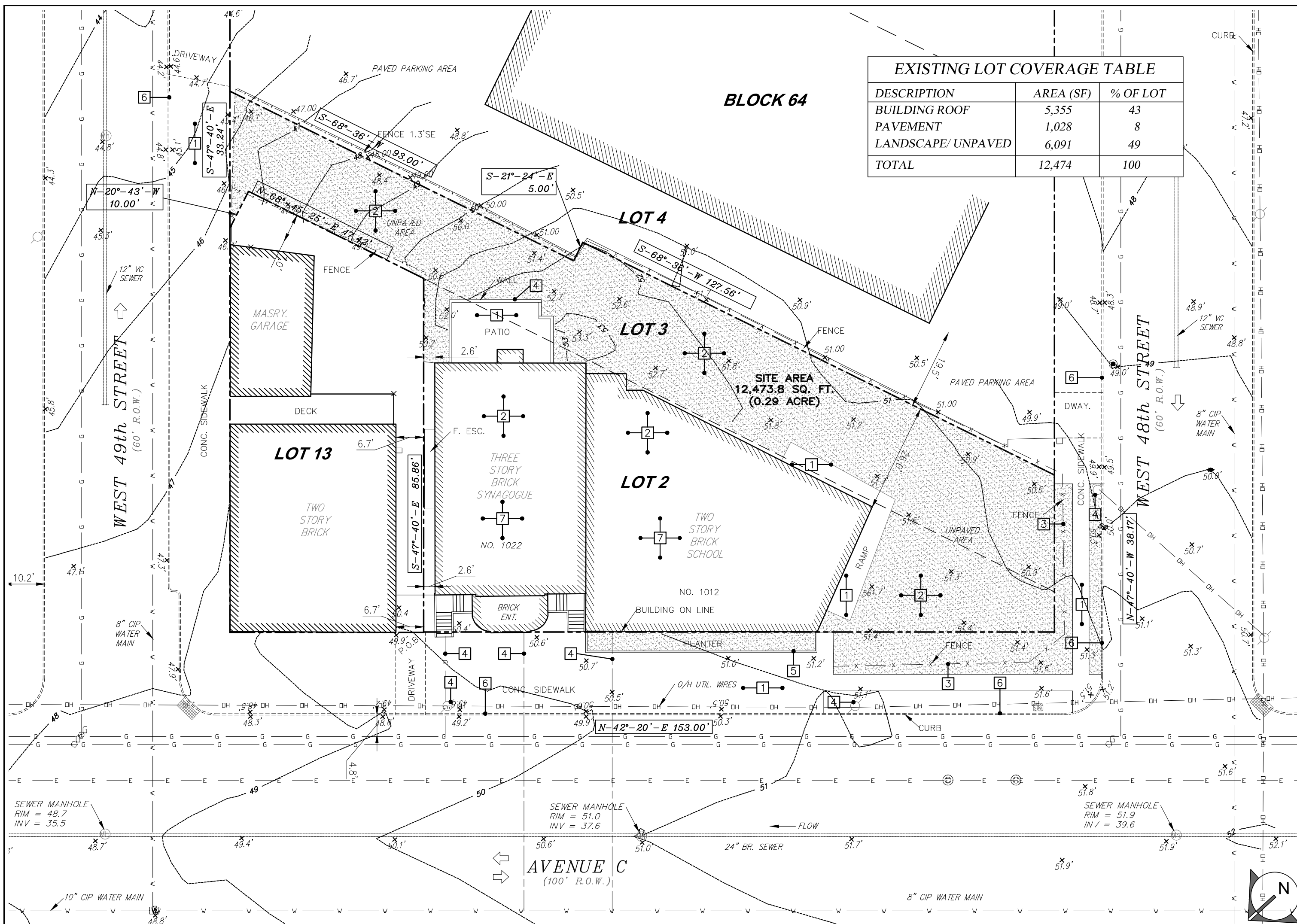
No.	Date	Revision

DATE: OCTOBER 10, 2025
SCALE: AS NOTED
DRAWN: INDO
CHECKED: C7/AS
PROJECT: 202211-SP
A. SAMBADE R.A. # 10852

ARCHITECTURE • ENGINEERING • PLANNING
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL. (201)823-0779

DAL design group

Drawing No. **T0.1**



A EXISTING SITE CONDITIONS / DEMOLITION PLAN
1" = 20'-0"

DEMOLITION NOTES:

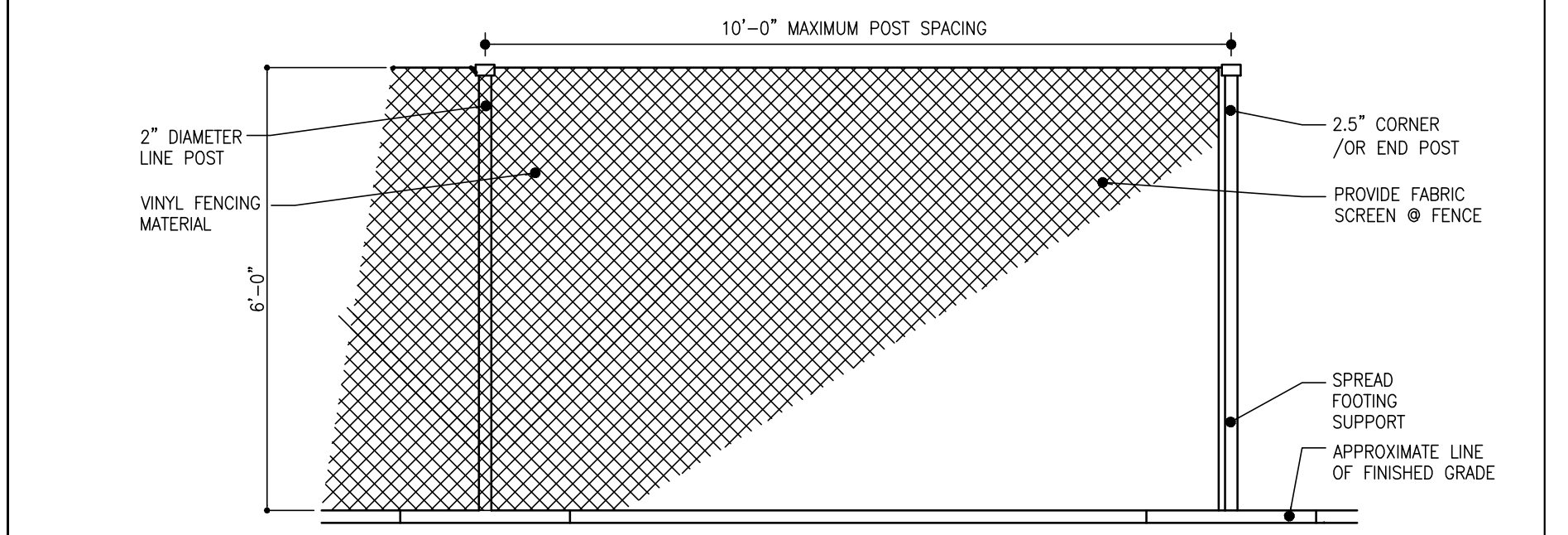
- A. IT IS THE INTENT OF THIS DRAWING THAT THE CONTRACTOR COMPLETELY REMOVE AND DISPOSE OF ALL ITEMS AND THEIR ASSOCIATED CONSTRUCTION STATED BY NOTATION OR INFERENCE WITHIN THE ENTIRE PROPOSED CONTRACT AREAS. PREPARE ALL DISTURBED AREA FOR NEW CONSTRUCTION. CONTRACTOR SHALL RESTORE DISTURBED AREAS TO MATCH ADJACENT CONSTRUCTION AND FINISH.
- B. THE EXTENT OF THE DEMOLITION SHALL BE COORDINATED IN DETAIL WITH THE EXTENT OF NEW CONSTRUCTION FOR THE SAME.
- C. CONTRACTORS SHALL COORDINATE WITH ALL OTHER TRADES TO ENSURE PROPER DEMOLITION TAKES PLACE.
- D. CONTRACTORS SHALL PROVIDE, AT ALL TIMES DURING CONSTRUCTION, PROPER MEANS OF EGRESS.
- E. ANY RELOCATION OF ELECTRIC POLES, AND STREET LIGHTS, CALL BOXES, TRAFFIC SIGNS, OR TRAFFIC LIGHTS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES OR AGENCY AND THE OWNER.
- F. UNDERGROUND UTILITY LOCATIONS WERE OBTAINED FROM VARIOUS SOURCES AND VERIFIED IN THE FIELD WHEREVER POSSIBLE. THEY ARE TO BE CONSIDERED IN APPROXIMATE LOCATIONS AND MUST BE VERIFIED BY THEIR OWNERS.
- G. BEFORE DIGGING CALL 1-800-272-1000 FOR UTILITY MARKOUTS.
- H. ELEVATIONS REFER TO NAVD88 DATUM.
- J. BEARINGS ARE RELATIVE AND DATUM IS ASSUMED IN A GENERAL NORTH DIRECTION.
- K. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL EXCESS DIRT, FILL AND MATERIAL PER ALL APPLICABLE CODES AND REGULATIONS. DEMOLITION DEBRIS SHALL NOT BE REUSED ON SITE.
- L. CONTRACTOR SHALL EXCAVATE THE SITE AS REQUIRED TO ACCOMMODATE THE PROPOSED SCOPE OF WORK. CONTRACTOR SHALL PROPERLY SHORE ALL EXISTING ADJACENT CONSTRUCTION AND STRUCTURES. MEANS AND METHODS OF PROPOSED SHORING SHALL BE THE SOLE RESPONSIBILITY OF THE PROPOSED CONTRACTOR.
- M. EXISTING WATER SERVICE AND SANITARY SEWER SERVICE LATERALS TO BE ABANDONED SHALL BE REMOVED UP TO THE EXISTING CONNECTION AT THE STREET MAIN AND CAPPED.
- N. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE AND LOCAL REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN ACCESS, VEHICLE ACCESS, ETC.
- O. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO, SIGNAGE, LIGHTS, FENCES, BARRIERS, AND PEDESTRIAN AND VEHICULAR TRAFFIC CONTROL MEASURES.
- P. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- Q. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- R. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
- S. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- T. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- U. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- V. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- W. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- X. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

DEMOLITION KEY NOTES:

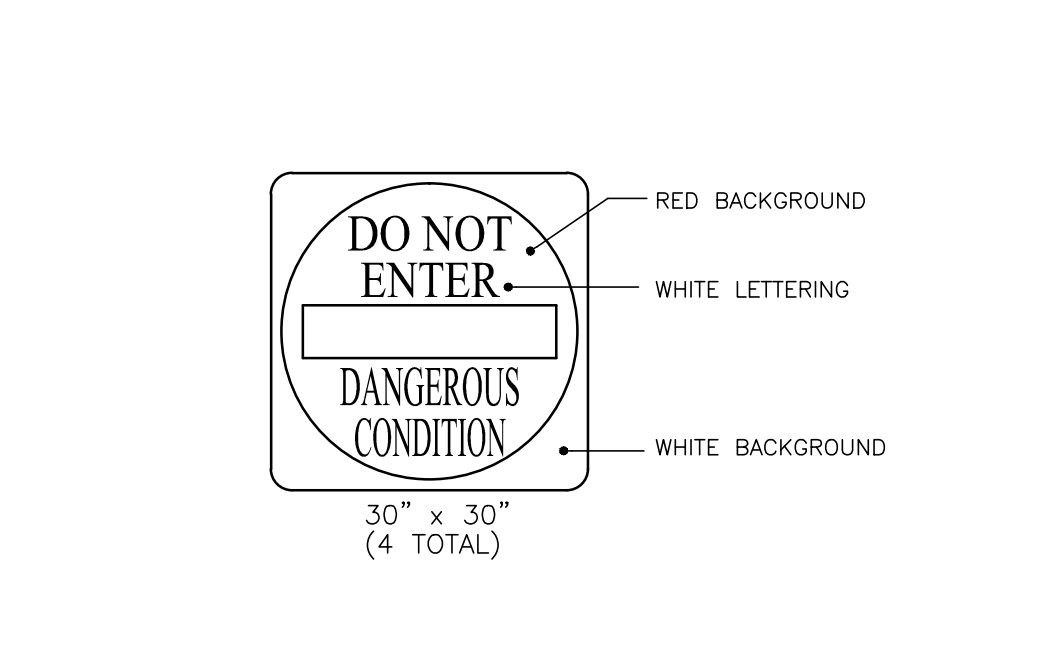
- CONTRACTOR SHALL REMOVE AND DISPOSE OF PROPERLY, IN THEIR ENTIRETY, ALL OF THE FOLLOWING EXISTING ITEMS: ALL ITEMS NOTED TO BE REMOVED SHALL BE, BY NOTATION OR INFERENCE, REMOVED AND DISPOSED OF IN THEIR ENTIRETY.
1. CONCRETE SIDEWALK AND PAVEMENT AT PROPERTY FRONTAGE.
 2. CLEAR AND GRUB AREA - REGRADE AS REQUIRED, PREP FOR PROPOSED FINISHED SURFACE AND GRADING ELEVATIONS. SEE SITE LAYOUT PLAN.
 3. EXISTING FENCING SYSTEM INCLUSIVE OF ASSOCIATED FOOTINGS.
 4. ALL EXISTING UTILITY CONNECTIONS WHETHER OR NOT SHOWN ON PLAN. COORDINATE WITH UTILITY COMPANIES. CAP UTILITIES AT CURB.
 5. EXISTING WALL INCLUSIVE OF ASSOCIATED FOOTINGS.
 6. CONCRETE CURBING CONSTRUCTION AT PROPERTY FRONTAGE.
 7. EXISTING BUILDING STRUCTURES INCLUSIVE OF ALL FOOTINGS AND FOUNDATIONS. PREPARE FOR FINISHED SUBGRADE AND BUILDING CONSTRUCTION.

SITE LEGEND

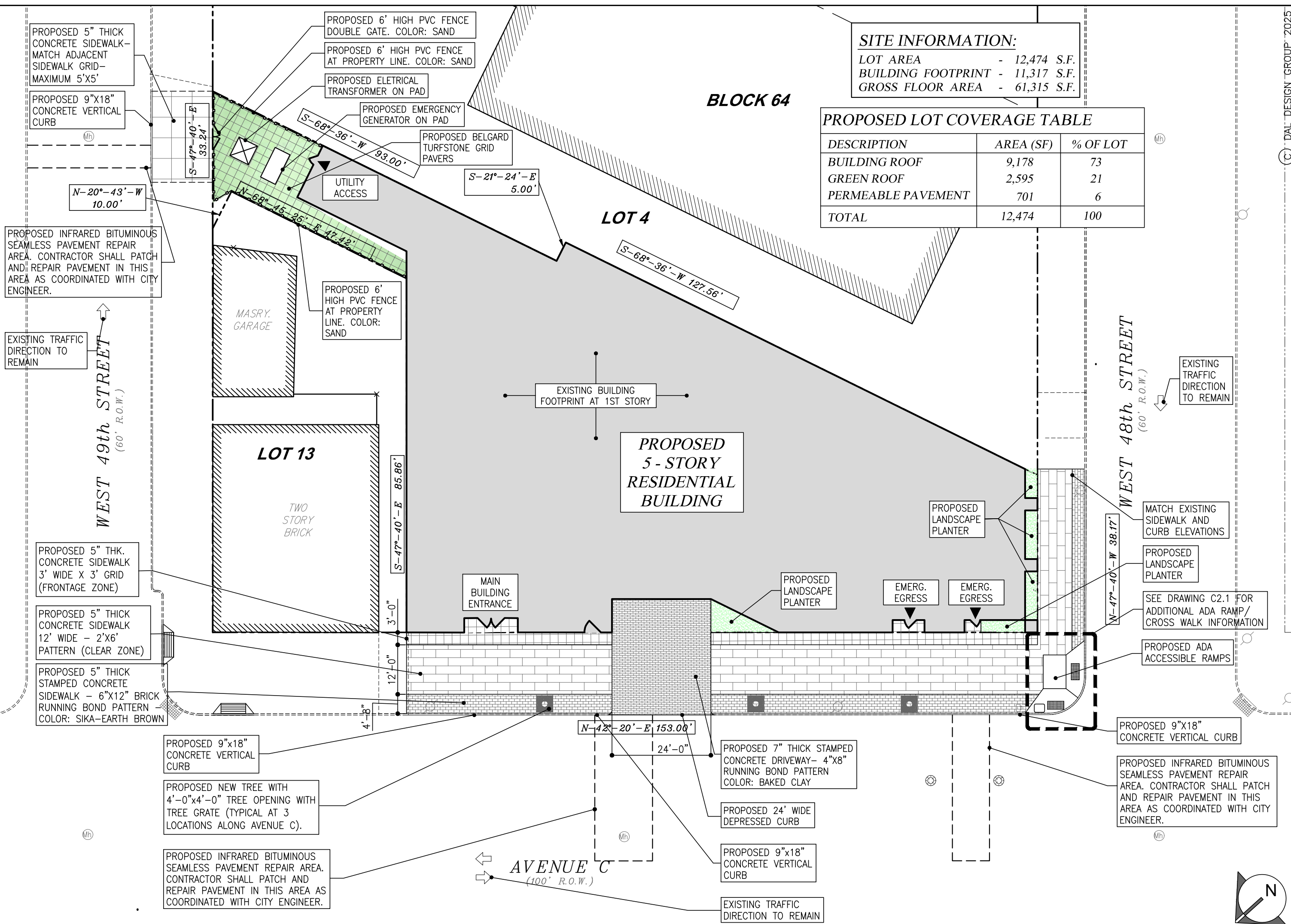
- PROPERTY LINE
- - - EXISTING CONTOUR
- - - EXIST. GAS LINE
- - - EXIST. WATER LINE
- - - EXIST. ELECTRIC LINE
- - - EXIST. SANITARY SEWER LINE
- EXIST. SPOT ELEVATIONS
- × TC 17.25 EXIST. TOP OF CURB ELEV.
- × BC 17.25 EXIST. BOTTOM OF CURB ELEV.
- EXIST. INLET
- EXIST. MANHOLE
- PROP. POINT OF BEGINNING
- EXIST. TRAFFIC SIGN
- EXIST. GENERAL SIGN
- EXIST. UTILITY BOX
- EXIST. GAS VALVE
- EXIST. WATER VALVE
- EXIST. FIRE HYDRANT
- EXIST. DRAIN
- EXIST. LAMP POST
- EXIST. UTILITY POLE
- EXIST. TRAFFIC SIGNAL
- EXIST. CURB
- EXIST. COBRA LIGHT POLE
- PROP. CONTOUR
- PROP. GAS LINE
- PROP. WATER LINE
- PROP. ELECTRIC LINE
- PROP. STORM SEWER (WIDTH BASED ON SEWER #)
- PROP. SANITARY SEWER (WIDTH BASED ON SEWER #)
- PROP. SPOT ELEV.
- PROP. TOP OF CURB ELEV.
- PROP. BOTTOM OF CURB ELEV.
- PROP. INLET
- PROP. MANHOLE
- PROP. POINT OF BEGINNING
- PROP. TRAFFIC SIGN
- PROP. GENERAL SIGN
- GENERAL UTILITY BOX
- PROP. GAS VALVE
- PROP. WATER VALVE
- PROP. FIRE HYDRANT
- PROP. DRAIN
- PROP. LAMP POST
- PROP. UTILITY POLE
- PROP. TRAFFIC SIGNAL
- PROP. CURB



1 TEMPORARY CONSTRUCTION FENCE
3/16" = 1'-0"



2 PROPOSED CONSTRUCTION SIGNAGE
N.T.S.



B PROPOSED SITE LAYOUT PLAN
1" = 20'-0"

SITE PLAN NOTES:

1. SITE PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY: CAULFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, DATED: OCTOBER 08, 2022.
2. THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
3. ALL SITE WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF NIDOT STANDARD SPECIFICATIONS, LATEST EDITION. ALL CONCRETE SHALL BE CLASS B-1.
4. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL ITEMS AND THEIR ASSOCIATED CONSTRUCTION STATED BY NOTATION OR INFERENCE WITHIN THE PROPOSED SCOPE OF WORK AREA. PREPARE ALL DISTURBED AREAS TO MATCH ADJACENT CONSTRUCTION AND FINISH.
5. ALL PROPERTY CORNERS OR MONUMENTS REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A NEW JERSEY LICENSED LAND SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF THE EXCESS MATERIALS EXCAVATED OF WHATEVER NATURE AT THEIR OWN EXPENSE. THE OWNER IS NOT OBLIGATED TO SUPPLY A DISPOSAL SITE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING OF STORAGE AND STAGING AREAS AT NO ADDITIONAL COST TO THE OWNER.
8. APPROPRIATE CONSTRUCTION SIGNAGE SHALL BE INSTALLED FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION. SIGNAGE SHALL BE MAINTAINED DURING CONSTRUCTION AND SHALL BE BAGGED DURING PERIODS OF INACTIVITY.
9. ALL UTILITY STRUCTURES (UTILITY BOXES, OIL FILL CAPS, WATER VALVES, GAS VALVES, BILCO DOORS, ELECTRICAL VAULTS AND ANY OTHER APPURTENANCES) WITHIN THE PROPOSED SIDEWALK RECONSTRUCTION SHALL BE RESET TO CONFORM TO THE PROPOSED FINISHED GRADE.
10. CONTRACTORS FIELD STAKEOUT SURVEYOR IS RESPONSIBLE FOR VERIFYING EXISTING SITE CONDITIONS AND NOTING ANY DISCREPANCIES BETWEEN SITE FIELD CONDITIONS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, PRIOR TO COMMENCING WORK. DO NOT WILLFULLY PROCEED WITH WORK IF ANY DISCREPANCIES ARE DISCOVERED, OTHERWISE ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE BORNE BY THE CONTRACTOR.
11. CONTRACTOR SHALL LAYOUT AND STAKE IN THE FIELD ALIGNMENT OF ALL PUBLIC CURBS, PAVEMENTS AND OTHER IMPROVEMENTS FOR REVIEW BY THE MUNICIPALITY. CONTRACTOR MAY NOT PROCEED WITH CONSTRUCTION OF IMPROVEMENTS UNTIL FINAL APPROVAL OF THE LAYOUT IS GRANTED BY THE MUNICIPALITY.
12. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, BOTH ABOVE AND BELOW THE SURFACE. ANY DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, PRIOR TO COMMENCING WORK. DO NOT WILLFULLY PROCEED WITH WORK IF ANY DISCREPANCIES ARE DISCOVERED, OTHERWISE ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE BORNE BY THE CONTRACTOR.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ITSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES OR STRUCTURES.
14. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING STRUCTURAL DESIGN, AS WELL AS PLANS AND ELEVATIONS, APPROPRIATE TO ENSURE DESIGN INTENT IS MET.
15. CONTRACTOR SHALL TAKE CARE TO PROTECT FROM CONSTRUCTION ALL EXISTING TREES, STRUCTURES UNDER/ABOVE GROUND SURFACE THAT ARE TO REMAIN. ANY DAMAGE DUE TO THESE DURING CONSTRUCTION MUST BE REPLACED AT CONTRACTOR'S OWN COST WITHIN THE CONSTRUCTION PERIOD.
16. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY FOR CONSTRUCTION FROM THE APPROPRIATE LOCAL, STATE AND FEDERAL AGENCIES.
17. CONTRACTOR SHALL LEAVE THE SITE EACH DAY IN AN ORDERLY FASHION AND SHOULD REMOVE ALL LITTER, REFUSE, DEBRIS AND HAZARDOUS MATERIALS FROM THE SITE DAILY IN COMPLIANCE WITH APPROPRIATE LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR SHALL TAKE MEASURES TO LIMIT THE AMOUNT OF SOIL LEAVING THE SITE ON EQUIPMENT. ANY DEBRIS ON ROAD SURFACES OR SIDEWALK SHOULD BE CLEANED DAILY.
18. THE CONTRACTOR MUST PROVIDE A PORTABLE RESTROOM UNIT FOR THE DURATION OF THE PROJECT IN A LOCATION APPROVED BY THE OWNER.
19. CONTRACTOR SHALL BE REQUIRED TO SAFELY SECURE THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION AND FINAL APPROVAL. ALL COSTS ASSOCIATED WITH SECURING THE SITE, INCLUDING TEMPORARY FENCING, SHALL BE INCLUDED IN THE VARIOUS ITEMS ABOVE. ANY DAMAGE OF VANDALISM (SUCH AS FOOTSTEPS/HAND PRINTS IN SIDEWALK, BROKEN AND DAMAGED FURNITURE, ETC.) THAT OCCURS DURING THE CONSTRUCTION PERIOD WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND CONSIDERED DUE TO LACK OF SECURED SITE ALL COSTS ASSOCIATED WITH WORK TO REMEDY THE DAMAGE SHALL BE BORNE BY THE CONTRACTOR.
20. ALL DISTURBED SHRUBS, FENCING, SIGNS, MAIL BOXES, DRIVES, ETC SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS RESTORATION, UNLESS SPECIFIED ELSEWHERE.
21. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND ENGINEER. LAYOUT THE WORK AS DIMENSIONED OR STATIONED ON THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE DISTANCES.
22. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
23. ALL SIDEWALKS SHALL HAVE A RUNNING SLOPE OF NO GREATER THAN 5% AND A CROSS SLOPE NO GREATER THAN 2% (PER ADAAG) UNLESS NOTED OTHERWISE ON GRADING PLAN.
24. ALL NEW CURBS AND PAVEMENTS SHALL MEET EXISTING CURBS & PAVEMENTS SMOOTH AND FLUSH.
25. NEW CURBS, WALLS, AND PAVEMENTS SHALL BE BUILT TO A SMOOTH EVEN FINISH WITH A CONSISTENT TOP AND PROFILE WITHOUT WAVES OR IRREGULARITIES. ANY WORK NOT MEETING THIS QUALITY STANDARD SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
26. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXISTS THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. DO NOT PROCEED WITH CONSTRUCTION AND ORDERING MATERIALS WHEN INFORMATION IS INCOMPLETE OR OTHER DISCREPANCIES MAY EXIST. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF SUCH CONDITIONS. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
27. CONTRACTOR IS RESPONSIBLE FOR POWER AND WATER NEEDED DURING CONSTRUCTION.

RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

SITE LAYOUT,
DEMOLITION
PLAN
AND NOTES

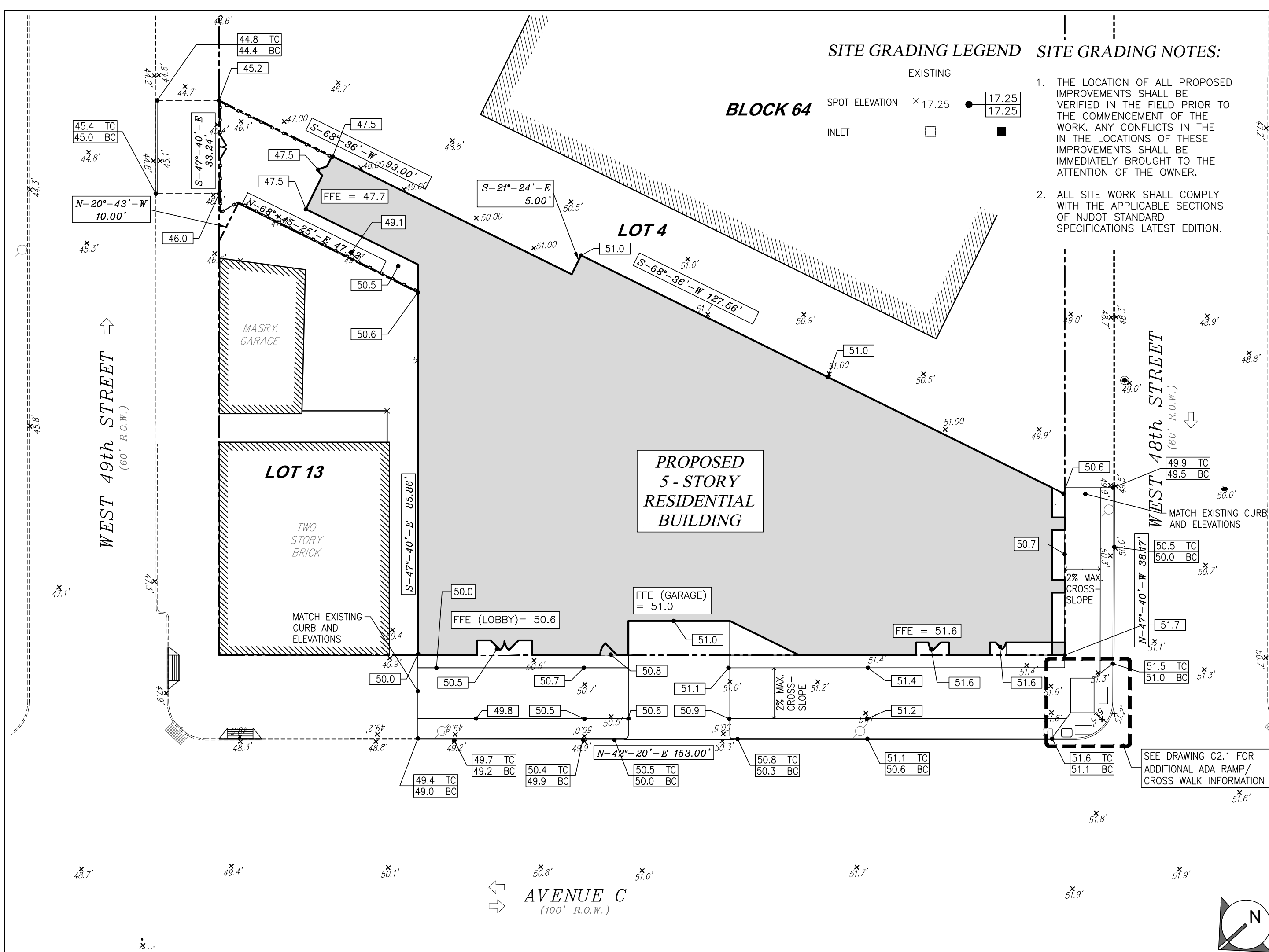
No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

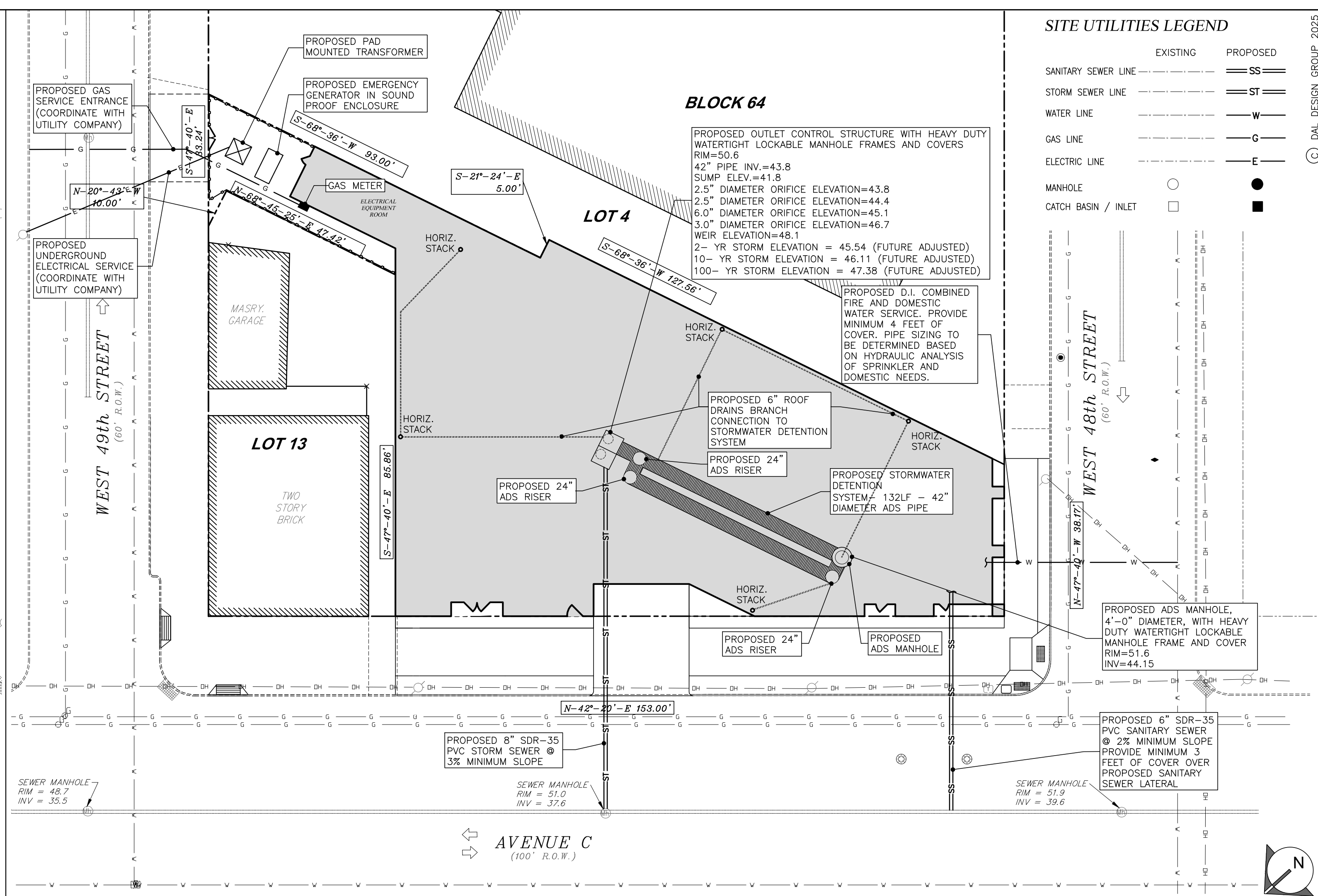
ARCHITECTURE • ENGINEERING • PLANNING
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL (201)823-0779

DAL design group

Drawing No. **C1.1**



A PROPOSED SITE GRADING PLAN
 0 5 10 20 40
 1" = 20'-0"



B PROPOSED SITE UTILITIES LAYOUT PLAN
 0 5 10 20 40
 1" = 20'-0"

SITE GRADING NOTES:

- SITE UTILITIES PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY CAUFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT FONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
- RESPONSIBILITY/OSHA STANDARDS: CONTRACTOR SHALL ADHERE TO CURRENT OSHA AND OTHER LEGAL REQUIREMENTS FOR SAFETY IN THE WORKPLACE, INCLUDING U.S. DEPARTMENT OF LABOR, OSHA PUBLICATION NUMBER 3149, 1998 SAFETY AND HEALTH STANDARDS FOR THE CONSTRUCTION INDUSTRY AND ALL HEALTH AND SAFETY REQUIREMENTS RELATED TO THE PERFORMANCE OF UTILITY CONSTRUCTION WORK.
- ANY QUANTITIES SHOWN ON THE PLAN ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY FABRICATION, ORDERING OF MATERIAL, OR PERFORMING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON NAVD88 DATUM.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES SHALL BE REMOVED IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- UTILIZE A MOBILE SHEEPER AND WATER TRUCK AS NEEDED FOR DUST CONTROL ALONG THE HAUL ROUTE AND IN AREAS MADE AVAILABLE FOR CONSTRUCTION. STREETS AND SIDEWALKS MUST BE KEPT FREE OF SEDIMENT EACH DAY.
- IN ALL CASES, WALKS & PARKING AREAS TO BE PITCHED TOWARD DRAINAGE STRUCTURES TO PREVENT FONDING.
- PREVENT WATER PONDING RESULTING FROM CONSTRUCTION OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION.
- ALL REPAIRS AND NEW PAVEMENT AREAS TO BE INSTALLED TO SMOOTH, EVEN GRADE. CORRECT EXISTING LOW SPOTS AND GRADE DISCREPANCIES BY FILLING AND CUTTING AS REQUIRED.
- MEET EXISTING GRADE AND SURFACE FINISHES, WHERE NOTED.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/INVERT ELEVATIONS AT REGULAR INTERVALS, DISTANCES TO CENTER OF PIPE/CORNER OF OBJECT FROM A SURVEYABLE POINT, LOCATION AND TYPES OF BENDS IN PIPES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY DISPLAYED ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.

SITE UTILITIES NOTES:

- SITE UTILITIES PLAN IS BASED ON TOPOGRAPHICAL AND BOUNDARY SURVEY PERFORMED BY CAUFIELD ASSOCIATES, LLP, PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
- THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE, TAKEN FROM VARIOUS SOURCES, AND NOT GUARANTEED AS TO ACCURACY. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY UTILITY "ONE-CALL" NUMBER (811 OR 800-272-1000) PRIOR TO ANY EXCAVATION AT THE SITE AND TO LOCATE ALL UTILITIES, WHETHER OR NOT INDICATED ON THIS PLAN, IN PLAN AND ELEVATION. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, NO CONSTRUCTION ACTIVITY MAY PROCEED UNTIL ALL UTILITIES HAVE BEEN MARKED OUT BY THE RESPECTIVE UTILITY COMPANIES OR PROVIDERS.
- ALL EXISTING UTILITY LATERALS WITHIN THE SITE FROM EXISTING BUILDINGS SHALL BE DISCONNECTED AT THE EXISTING MAN AND SHALL BE REMOVED.
- WATER SERVICE AND SANITARY SEWER SERVICE SHALL GENERALLY BE SEPARATED BY A HORIZONTAL DISTANCE OF TEN FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SANITARY SEWER SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18" BELOW THE BOTTOM OF THE WATER SERVICE PIPE.
- WHERE LESS THAN 18-IN OF VERTICAL AND 10-FT OF HORIZONTAL CLEARANCE IS PROVIDED BETWEEN A SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6-IN OF 4500 PSI CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10-FT BEYOND THE CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE USED IN LIEU OF CONCRETE ENCASEMENT.
- THE FINAL LOCATION OF PROPOSED UNDERGROUND ELECTRIC, TELEPHONE, CATV, AND GAS SERVICES AND CONNECTIONS SHALL BE AS DETERMINED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO THE COMMENCEMENT OF THE WORK.
- ENTIRE LENGTH OF SANITARY SEWER LATERALS SHALL BE BED IN A MINIMUM OF 6" OF CLEAN CRUSHED STONE PLACED UP TO THE SPRING LINE OF THE PIPE.
- NEW SANITARY SEWER LATERALS SHALL BE INSPECTED BY CLOSED CIRCUIT INTERNAL VIDEO INSPECTION, LOW PRESSURE AIR TESTED.
- ALL CONSTRUCTION WORK RELATED TO THE INSTALLATION OF SANITARY LATERAL, WATER SERVICE AND STORM SEWER MUST BE COMPLETED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND STANDARD SPECIFICATIONS/CONSTRUCTION DETAILS OF THE RELEVANT UTILITY COMPANIES.
- ALL WORK MUST BE PERFORMED IN SUCH A MANNER TO PROTECT AND PREVENT DAMAGE TO SURROUNDING PROPERTY, TO MAINTAIN A SAFE WORK ENVIRONMENT, AND TO ENABLE WORK AND BUSINESSES AT THE SITE TO PROCEED WITH MINIMAL AND COORDINATED INTERRUPTIONS.
- ELEVATIONS SHOWN HEREON, UNLESS OTHERWISE SPECIFIED, ARE BASED ON NAVD88 DATUM.
- THE CONTRACTOR IS TO FIELD VERIFY ALL QUANTITIES AND EXISTING INVERTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN FIELD VERIFIED INVERTS AND THOSE SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL UTILITIES BY CONDUCTING TEST PITS AT UTILITY CROSSINGS, PRIOR TO EXCAVATION AND EXERCISE CARE TO PREVENT DISRUPTION OF ACTIVE SERVICES & AVOID CONFLICTS. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED UTILITY SERVICES WITHIN THE STREET RIGHTS-OF-WAY. ABANDONED UTILITIES SHALL BE REMOVED OR FILLED AS NECESSARY TO ADVANCE THE WORK IN ACCORDANCE WITH THE UTILITY OWNER'S REQUIREMENTS.
- ALL AREAS OUTSIDE THE LIMITS OF CONSTRUCTION THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER AND OWNER, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IF AN ADJACENT STRUCTURE APPEARS TO BE IN DANGER AND WILL TAKE ALL ACTIONS NECESSARY TO STABILIZE THE SITUATION.
- ALL EXISTING MANHOLE COVERS, GRATES, AND UTILITY STRUCTURES TO REMAIN SHALL BE ADJUSTED TO FINISH GRADE AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT NOTES AS CONSTRUCTION PROGRESSES. AS-BUILT INFORMATION SHALL CONTAIN, BUT NOT BE LIMITED TO, TOP OF PIPE/INVERT ELEVATIONS AT REGULAR INTERVALS, DISTANCES TO CENTER OF PIPE/CORNER OF OBJECT FROM A SURVEYABLE POINT, LOCATION AND TYPES OF BENDS IN PIPES AND DEPTH OF COVER. ANY UTILITY OR OBJECT ENCOUNTERED IN THE FIELD THAT IS NOT ACCURATELY DISPLAYED ON THE DRAWINGS SHALL BE AS-BUILT BY THE CONTRACTOR AND FORWARDED TO THE ENGINEER AS SOON AS POSSIBLE. UPON COMPLETION OF THE PROJECT THE CONTRACTOR IS TO SUBMIT TO THE ENGINEER, WITHIN 14 DAYS, A SET OF AS-BUILT DRAWINGS SIGNED AND SEALED BY A NEW JERSEY LICENSED SURVEYOR. THE ENGINEER RESERVES THE RIGHT TO HAVE THE CONTRACTOR PRODUCE DRAWINGS WITH AS-BUILT INFORMATION ON THEM AT ANYTIME DURING CONSTRUCTION.
- UNDERLAY ALL UTILITIES WITH MINIMUM 2" OF 2" CRUSHED STONE. ON SITE MATERIAL MAY NOT BE USED FOR BACKFILL. A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY SHALL INSPECT AND AUTHORIZE ALL EARTHWORK/BACKFILL OPERATIONS.

AVERAGE DAILY WATER LOAD

USE	PROPOSED	PROPOSED GPD
1-BEDROOM	24 UNITS	3,600
2-BEDROOM	16 UNITS	3,600
TOTAL	40 UNITS	7,200

NOTES: 1. PER N.J.A.C. 7:10-12.6, 75 GPD PER PERSON FOR MULTIFAMILY DWELLINGS
 2. STUDIO, 1-BEDROOM, ASSUMED TO BE 2 PERSONS.
 3. 2-BEDROOM, ASSUMED TO BE 3 PERSONS.

AVERAGE DAILY SEWER LOAD

USE	PROPOSED	PROPOSED GPD
1-BEDROOM	24 UNITS	3,600
2-BEDROOM	16 UNITS	3,600
TOTAL	40 UNITS	7,200

NOTES: 1. PER N.J.A.C. 7:144-23.3, 150 GPD ARE REQUIRED FOR STUDIO/1-BEDROOM, UNITS AND 225 GPD ARE REQUIRED FOR 2-BEDROOM UNITS.



Project Title
RESIDENTIAL DEVELOPMENT
 1012-1022 AVENUE C
 BLOCK 64 LOTS 2 & 3
 BAYONNE,
 NEW JERSEY

Drawing Title
SITE GRADING, UTILITIES PLAN AND DETAILS

No.	Date	Revision

Date
 OCTOBER 10, 2025

Scale
 AS NOTED

Drawn
 INDO

Checked
 CP/AS

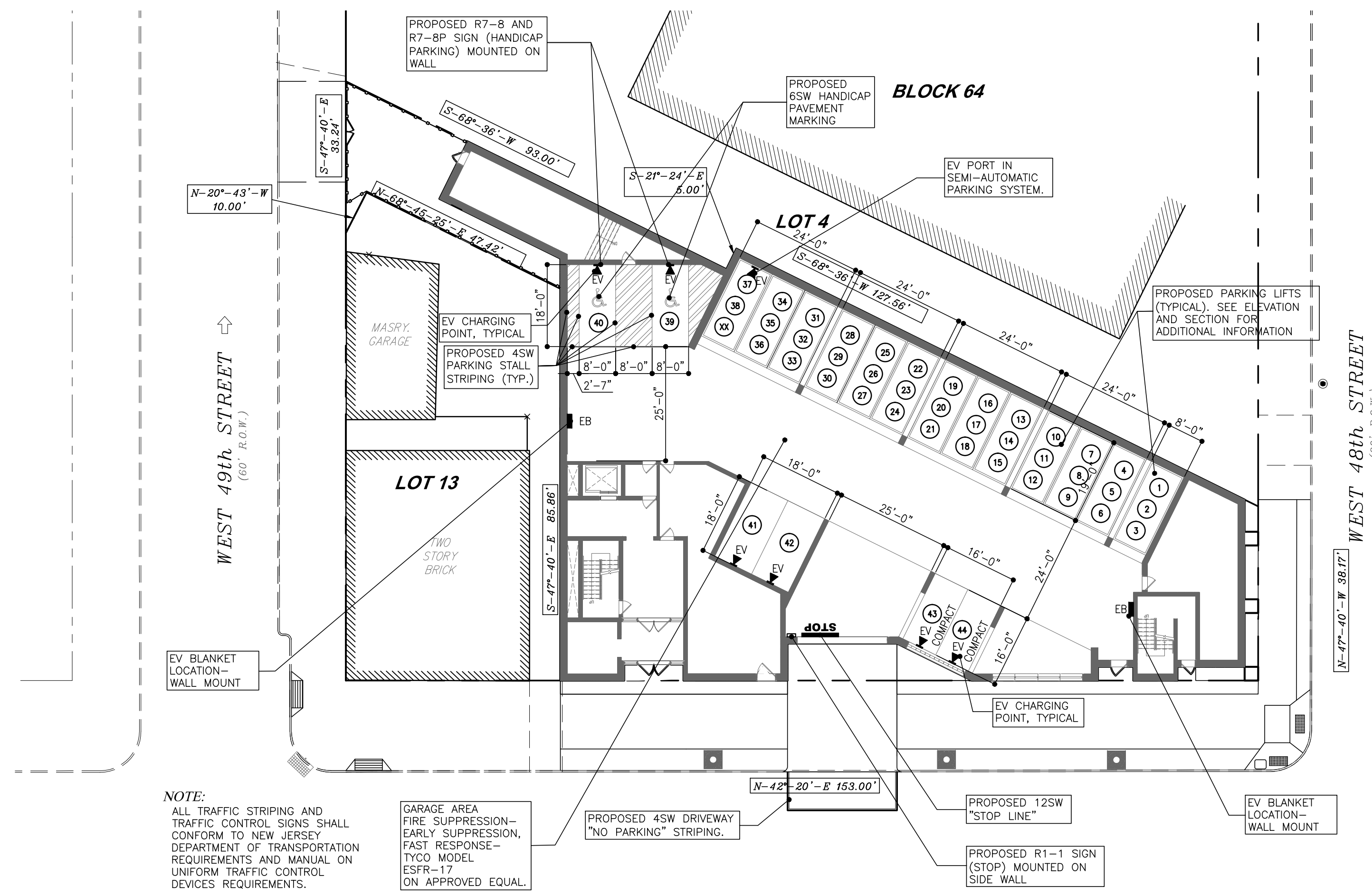
Project
 202211-SP

DATE: OCTOBER 10, 2025
 All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by written permission of DAL DESIGN GROUP, P.C.

ARCHITECTURE • ENGINEERING • PLANNING
 ELEVEN WEST EIGHTH STREET
 BAYONNE, NEW JERSEY 07002
 TEL (201)823-0779

DAL design group

Drawing No.
C1.2



NOTE:
ALL TRAFFIC STRIPING AND TRAFFIC CONTROL SIGNS SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES REQUIREMENTS.

ABBREVIATIONS
4SW 4" SOLID YELLOW LINE
4SY 4" SOLID YELLOW LINE
6SB 6" SOLID BLUE LINE
6SY 6" SOLID YELLOW LINE
12SW 12" SOLID WHITE LINE

GARAGE AREA FIRE SUPPRESSION-EARLY SUPPRESSION, FAST RESPONSE-TYOO MODEL ESR-17 ON APPROVED EQUAL.

PROPOSED 4SW DRIVEWAY "NO PARKING" STRIPING.

PROPOSED 12SW "STOP LINE"

TRAFFIC SIGNAL PREEMPTION:
NEARBY TRAFFIC SIGNAL, AS SELECTED BY THE CITY OF BAYONNE, SHALL BE FITTED WITH SIGNAL PREEMPTION FOR EMERGENCY VEHICLES AT THE DEVELOPER'S EXPENSE. COORDINATE WITH CITY ENGINEER.



EV CHARGING STATION CHARGEPOINT MODEL #CT4023-GW1 LEVEL 2, DUAL PORT, WALL MOUNT



EV FIRE SUPPRESSION BLANKET BRIMSTONE FIRE SUPPRESSION MODEL-XL 25'x33'

NOTES:

1. TRAFFIC CONTROL, AREA LIGHTING AND LANDSCAPE PLANS BASED ON TOPOGRAPHICAL BY CAUFIELD ASSOCIATES, LLP. PROFESSIONAL LAND SURVEYORS, N.J. LICENSE NO. 37579, 132 MADISON STREET, HOBOKEN, NEW JERSEY 07030, OCTOBER 08, 2022.
2. THE LOCATION OF ALL PROPOSED IMPROVEMENTS SHALL BE VERIFIED IN THE FIELD PRIOR TO THE COMMENCEMENT OF THE WORK. ANY CONFLICTS IN THE LOCATIONS OF THESE IMPROVEMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
3. ALL TRAFFIC STRIPING AND TRAFFIC CONTROL SIGNS SHALL CONFORM TO NEW JERSEY DEPARTMENT OF TRANSPORTATION REQUIREMENTS AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES REQUIREMENTS.
4. ALL AREA LIGHTS SHALL BE SHIELDED WHERE NECESSARY TO PREVENT SPILLAGE OF LIGHT ONTO ADJACENT PROPERTIES OR RIGHTS - OF - WAY. SHIELDING SHALL CONFORM TO MANUFACTURER'S REQUIREMENTS.
5. ALL SHRUB AND LANDSCAPED AREAS SHALL BE MULCHED CONTINUOUSLY WITH A MINIMUM OF 4" SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE NOTED, AND AS DIRECTED BY THE ENGINEER. MULCH ALL PINES WITH HARDWOOD BARK MULCH.
6. TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN ONE INCH, OR ANY UNDERSIRABLE MATERIAL. TOPSOIL SHALL CONTAIN 5% ORGANIC MATTER AND SHALL HAVE A PH OF 5.0 TO 6.5.
7. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.
8. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL TREE CROTCH APART.

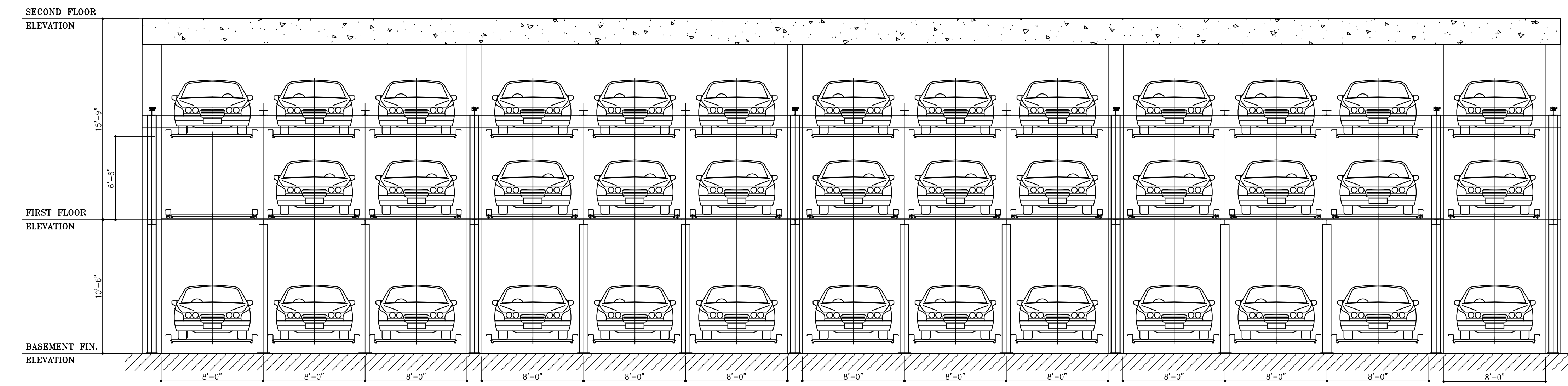
EV CHARGING STATION REQUIREMENTS			
PARKING REQUIRED PER ZONING	EV CHARGING STATION REQUIRED (15%)	EV CHARGING STATION PROPOSED	PARKING REDUCTION
44 SPACES	7 SPACES	7 SPACES	4 SPACES

PROPOSED PARKING SPACE REQUIREMENTS			
USE	PROPOSED	REQUIRED PARKING RATIO	PROVIDED PARKING SPACES
RESIDENTIAL	40 UNITS	1.0 SPACE PER 1-BR UNIT 1.25 SPACE PER 2-BR UNIT	44 SPACES
EV PARKING REDUCTION	-	-	4 SPACES REDUCTION
TOTAL REQUIRED	-	-	40 SPACES
TOTAL PROVIDED	-	-	44 SPACES

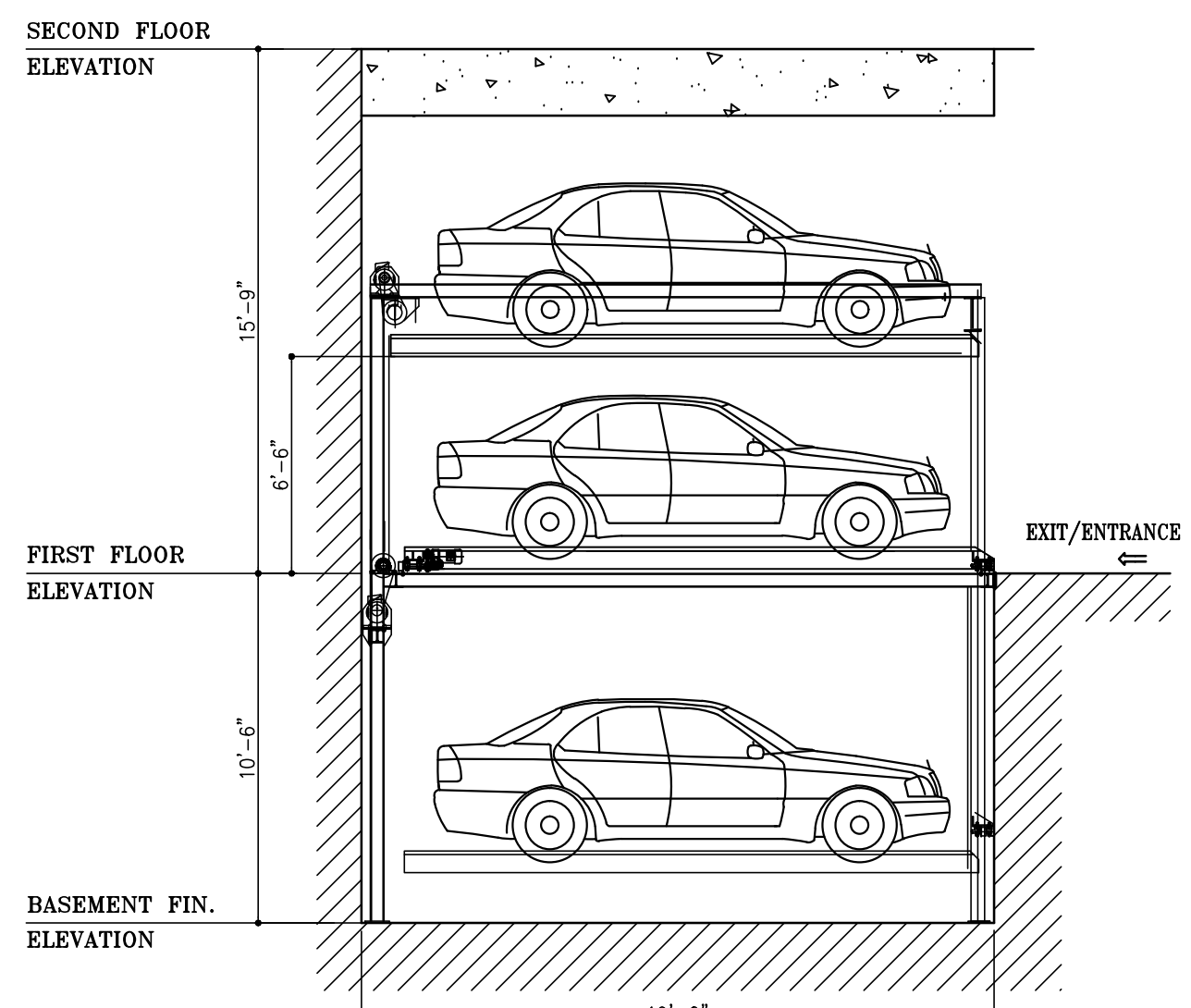
NOTE: SAFETY MEASURES SHALL BE INSTALLED AT THE GARAGE AREA AS REQUIRED BY THE FIRE-SUB-CODE OFFICIAL, INCLUDING BUT NOT LIMITED TO, EV BLANKETS, AND HIGH-PRESSURE/HIGH-VOLUME SPRINKLER HEADS.

A PROPOSED SITE TRAFFIC CONTROL PLAN

0 5 10 20 40 1" = 20'-0"



1A SECTION 3/16" = 1'-0"



1B SECTION 3/16" = 1'-0"

1 PARKING EQUIPMENT ELEVATION AND SECTION

0 5 10 AS NOTED

RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

TRAFFIC PLAN
AND NOTES

No.	Date	Revision

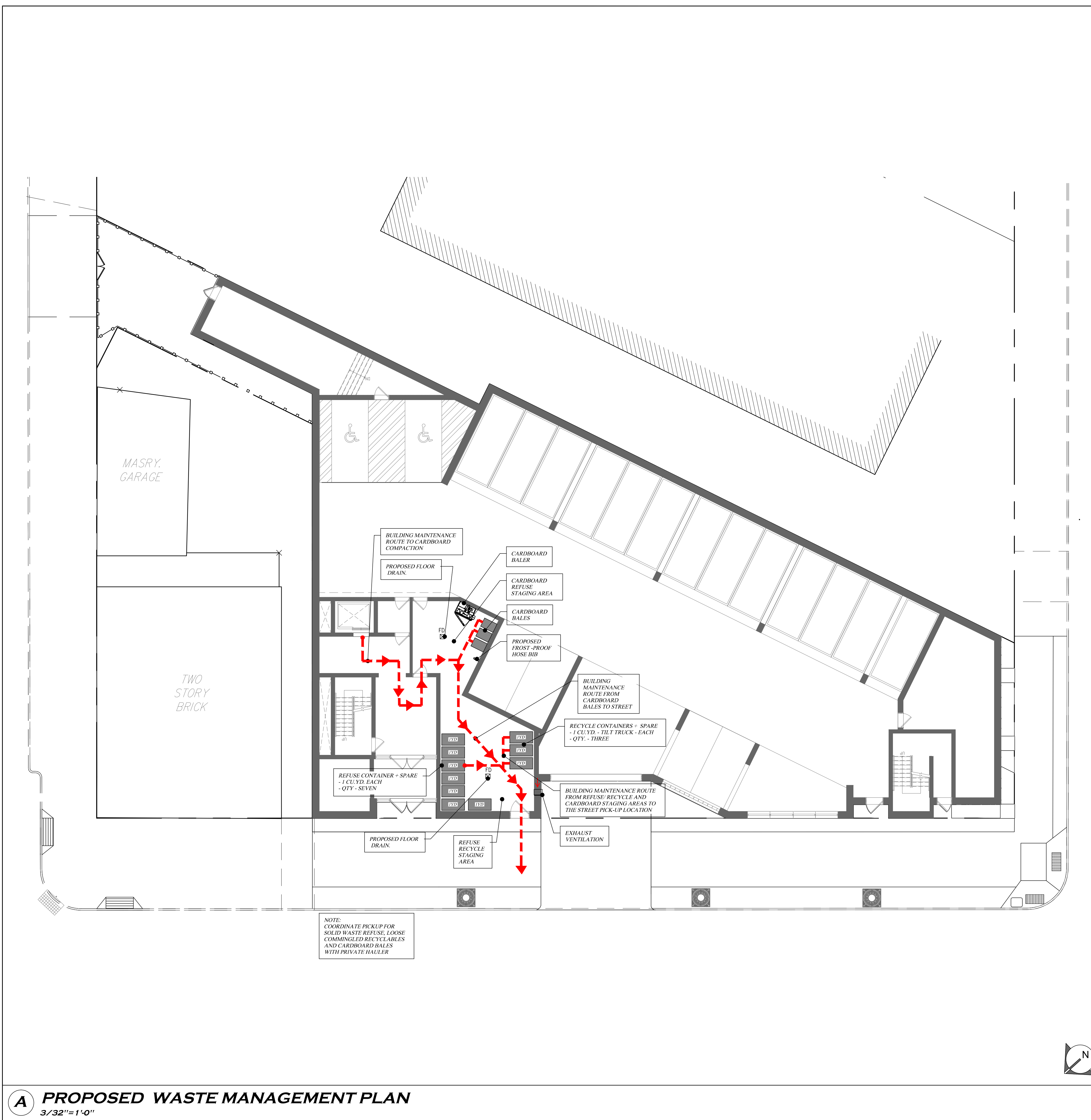
Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C. All rights reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C. A. SAMBADE R.A. # 10852

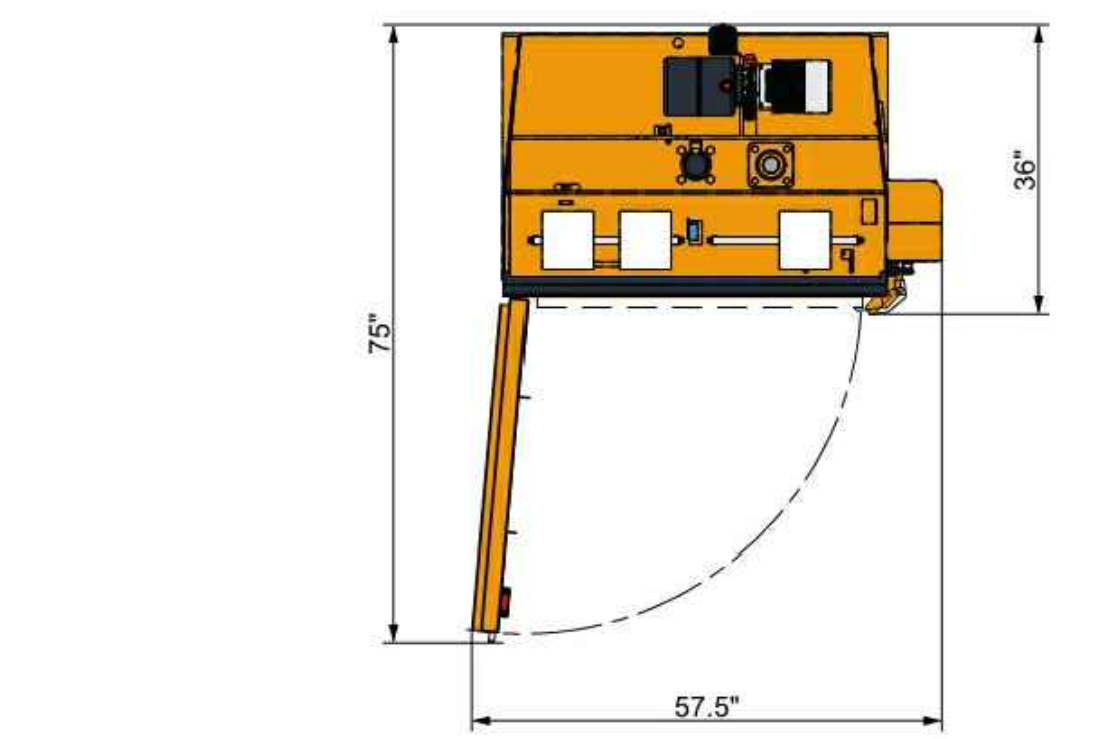
ARCHITECTURE • ENGINEERING • PLANNING
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL (201)823-0779

DAL design group

Drawing No. **C1.4**



NOTE:
COORDINATE PICKUP FOR
SOLID WASTE REFUSE, LOOSE
COMMINGLED RECYCLABLES
AND CARDBOARD BALES
WITH PRIVATE HAULER



RESIDENTIAL CARDBOARD BALER
NTS.



TILT TRUCK LID
NTS.



TILT TRUCK ONE CU. YD.
NTS.

MULTI FAMILY WASTE MANAGEMENT REQUIREMENTS

SOLID WASTE - PRIVATE HAULER PICKUP

SPACES	VOLUME CREATED	SERVICE REQUIRED	CONTAINERS PROVIDED
40 APARTMENTS	11 CU. YDS./ WEEK	TWO PICK-UPS/ WEEK	6 CONTAINER + 1 SPARE (1 CU. YD. ea.)

RECYCLING - PRIVATE HAULER PICKUP

SPACES	VOLUME CREATED	SERVICE REQUIRED	CONTAINERS PROVIDED
40 APARTMENTS	3 CU. YDS./ WEEK (LOOSE) 25 lbs / PER WEEK (COMPACTION)	TWO PICK-UPS/ WEEK TWO PICK-UPS/ WEEK	(2) 1 YARD TILT-TRUCKS + 1 SPARE

* INFORMATION BASED ON NJDEP - 2021 GUIDELINES

- (1) WASTE GENERATION OCCUPANCY LOAD FOR BUILDING IS ESTIMATED AT 96 OCCUPANTS
-2BR-16-48 OCCUPANTS
-1BR-24-48 OCCUPANTS
- (2) INDIVIDUAL WASTE GENERATION - 3.70 lbs. PER PERSON/DAY (RESIDENTIAL)
-96 OCCUPANTS x 3.70 = 356 lbs.
(2A) 225 lbs./CU. YD.
-356 x 7 = 2492/225 = 11 CU. YD.
(2B) ONE CONTAINER = 1 CU. YD.
(2C) 11 CU.YD./ 7 DAYS = REQUIRED SOLID WASTE REMOVAL PER WEEK (RESIDENTIAL)
- (3) INDIVIDUAL COMMINGLED RECYCLING GENERATION - 2.2 lbs. PER PERSON/DAY (RESIDENTIAL)
-96 OCCUPANTS x 0.90 = 86 lbs. - PLASTIC/ METAL
-96 OCCUPANTS x 1.30 = 125 lbs. - CARDBOARD (25 lbs-COMPACTION)
(3A) 200 lbs./cu. YD.
-(86 x 7 = 602)/200 = 3 CU. YD.
(3B) CARDBOARD BALER - COMPACTION RATE = 5:1
(3C) 1 CU. YARD = ONE TILT-TRUCK
(3D) 3 TILT-TRUCKS/ 7 DAYS = REQUIRED RECYCLING REMOVAL PER WEEK (RESIDENTIAL)

A PROPOSED WASTE MANAGEMENT PLAN
3/32"=1'-0"

© DAL DESIGN GROUP 2025

Project Title
RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

Drawing Title
**WASTE
MANAGEMENT
PLAN**

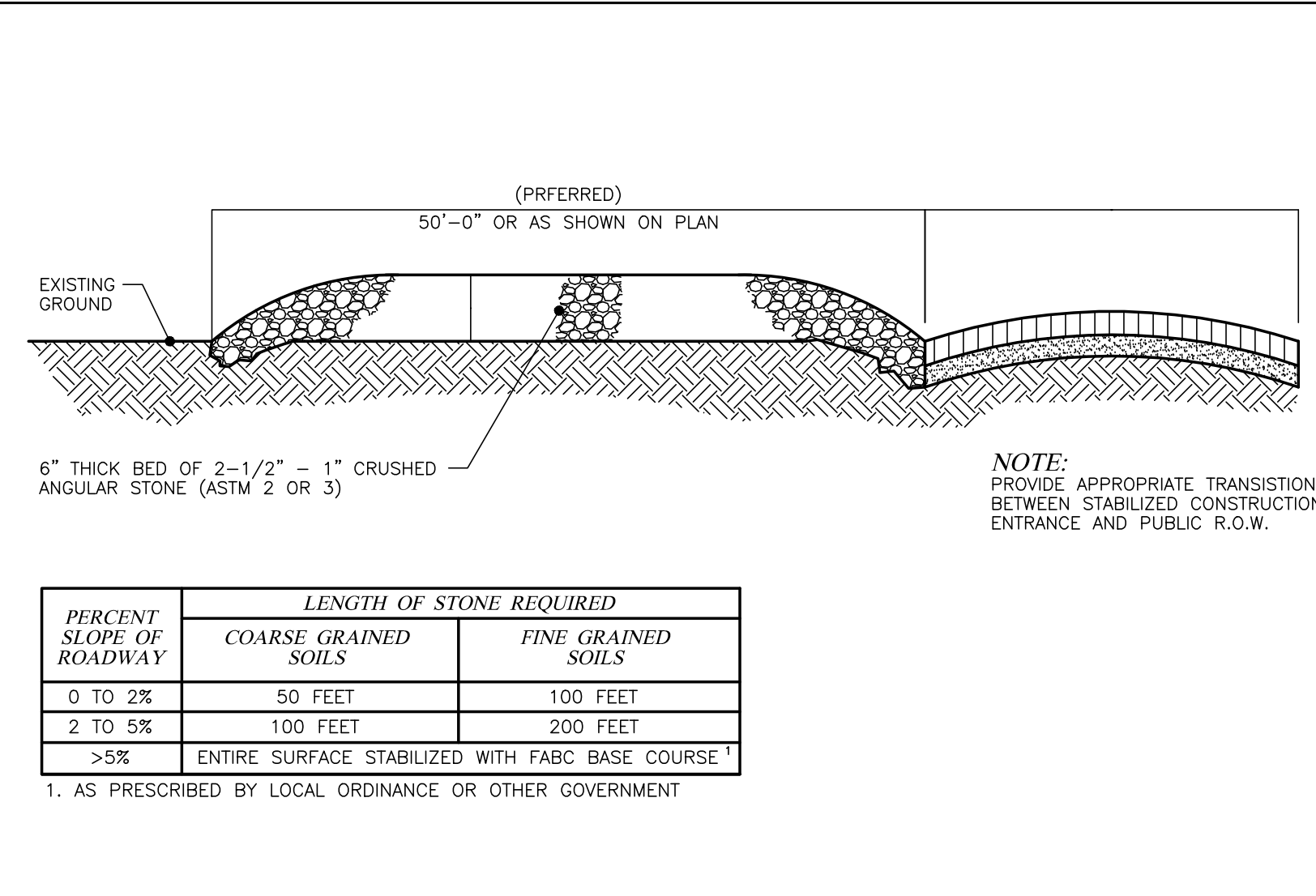
No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

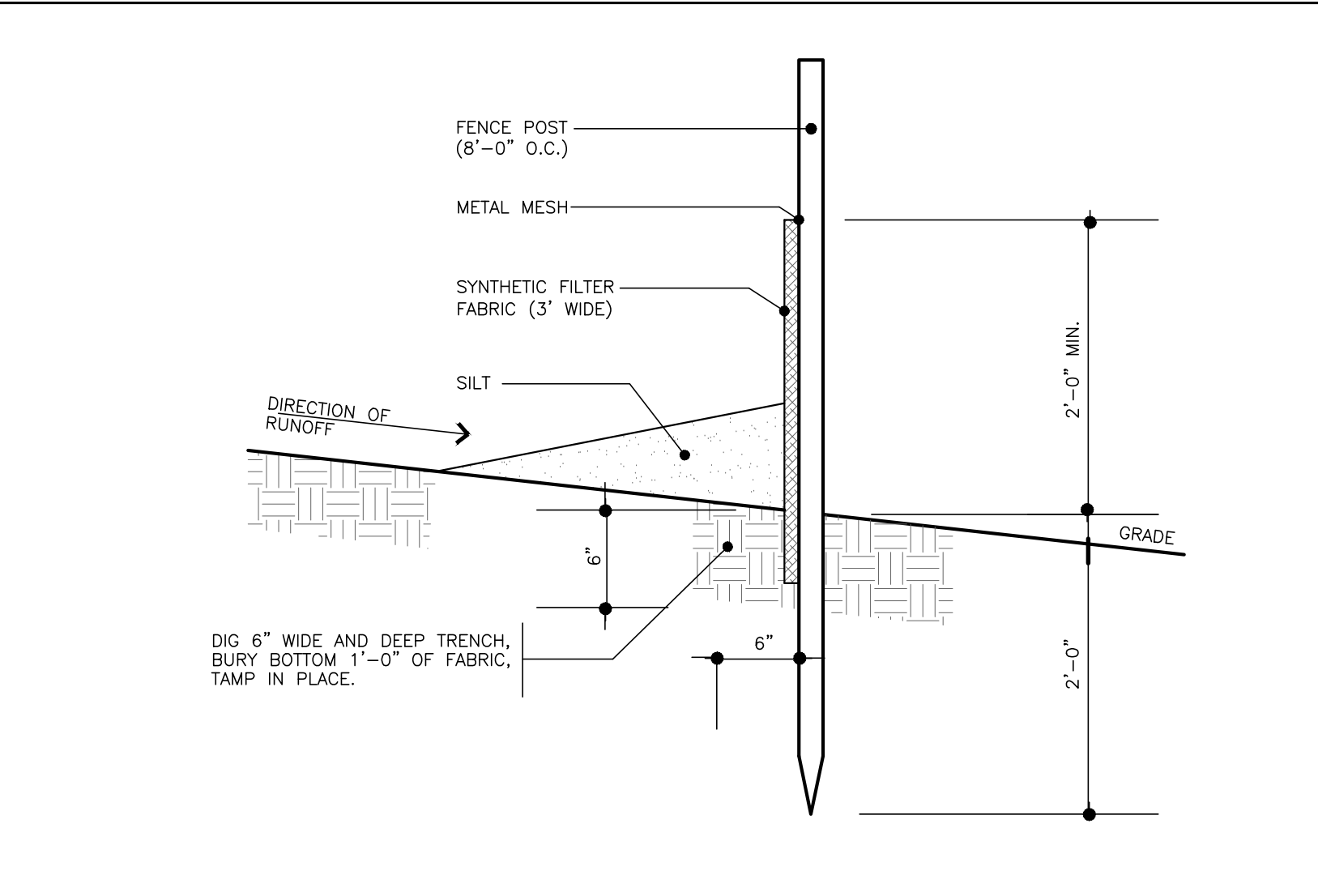
© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C. All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
A. SAMBADE R.A. # 10852

ARCHITECTURE • ENGINEERING • PLANNING
DAL design group
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL (201)823-0779

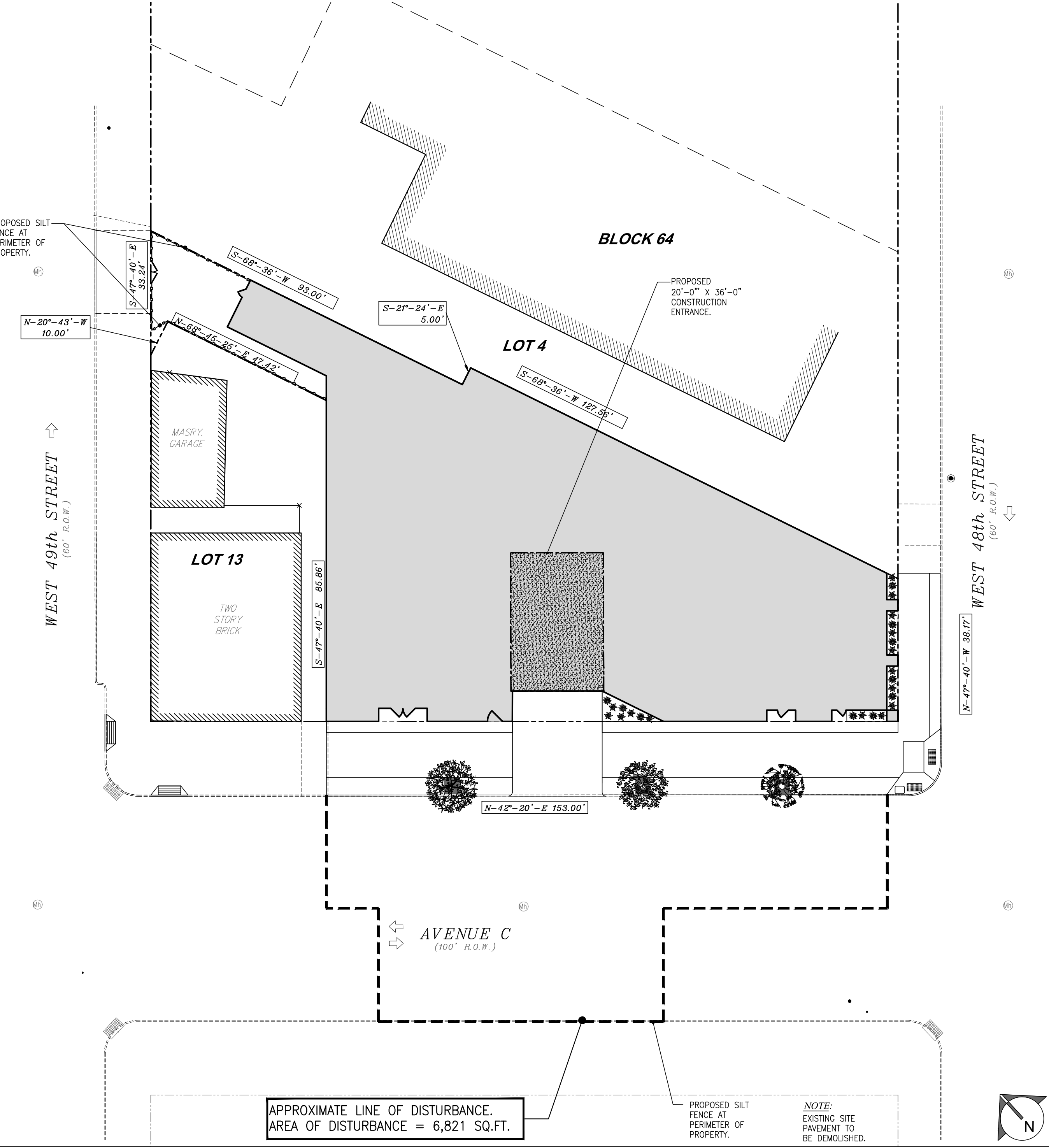
Drawing No.
C1.5



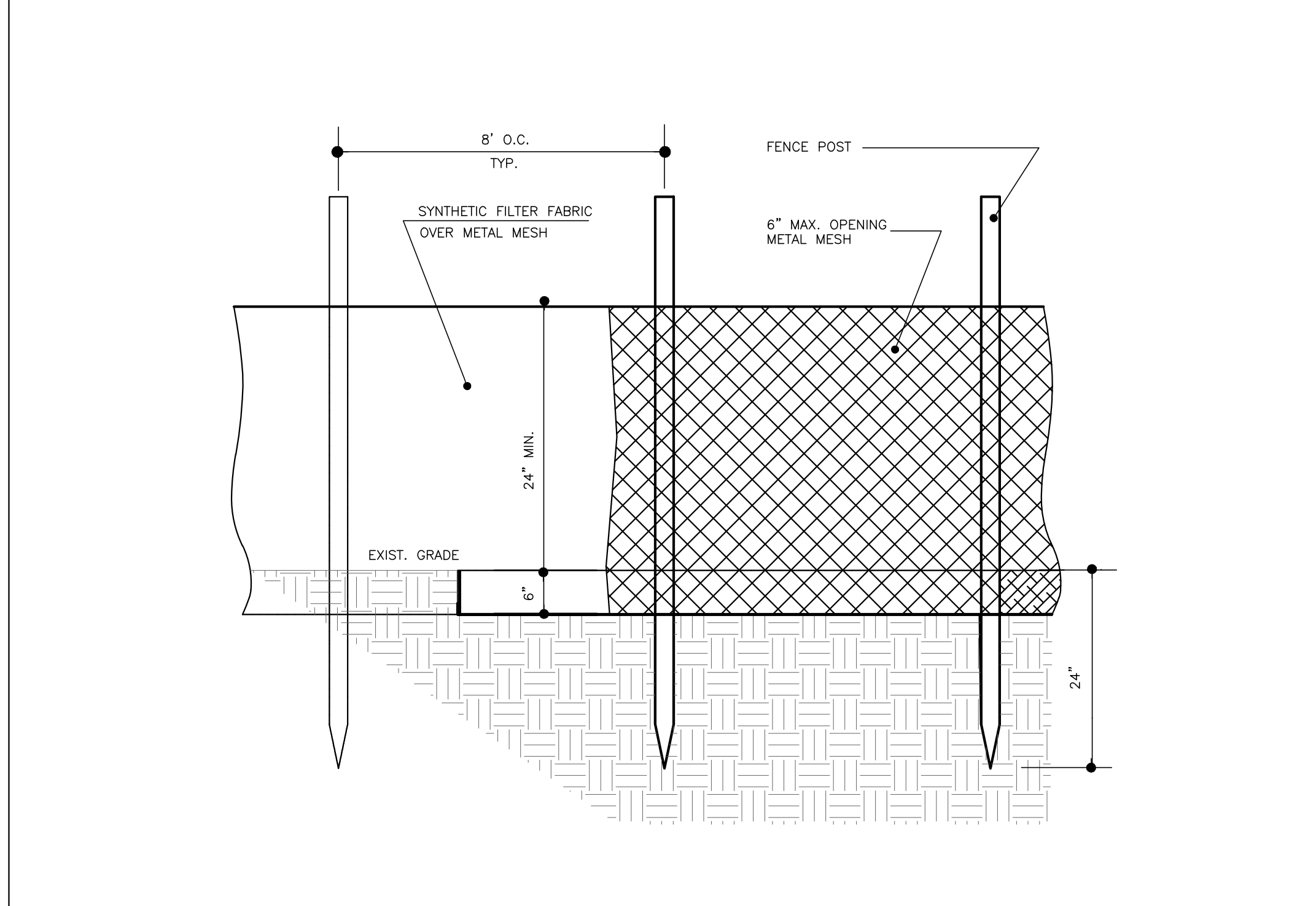
1 STABILIZED CONSTRUCTION ENTRANCE DETAIL
N. T. S.



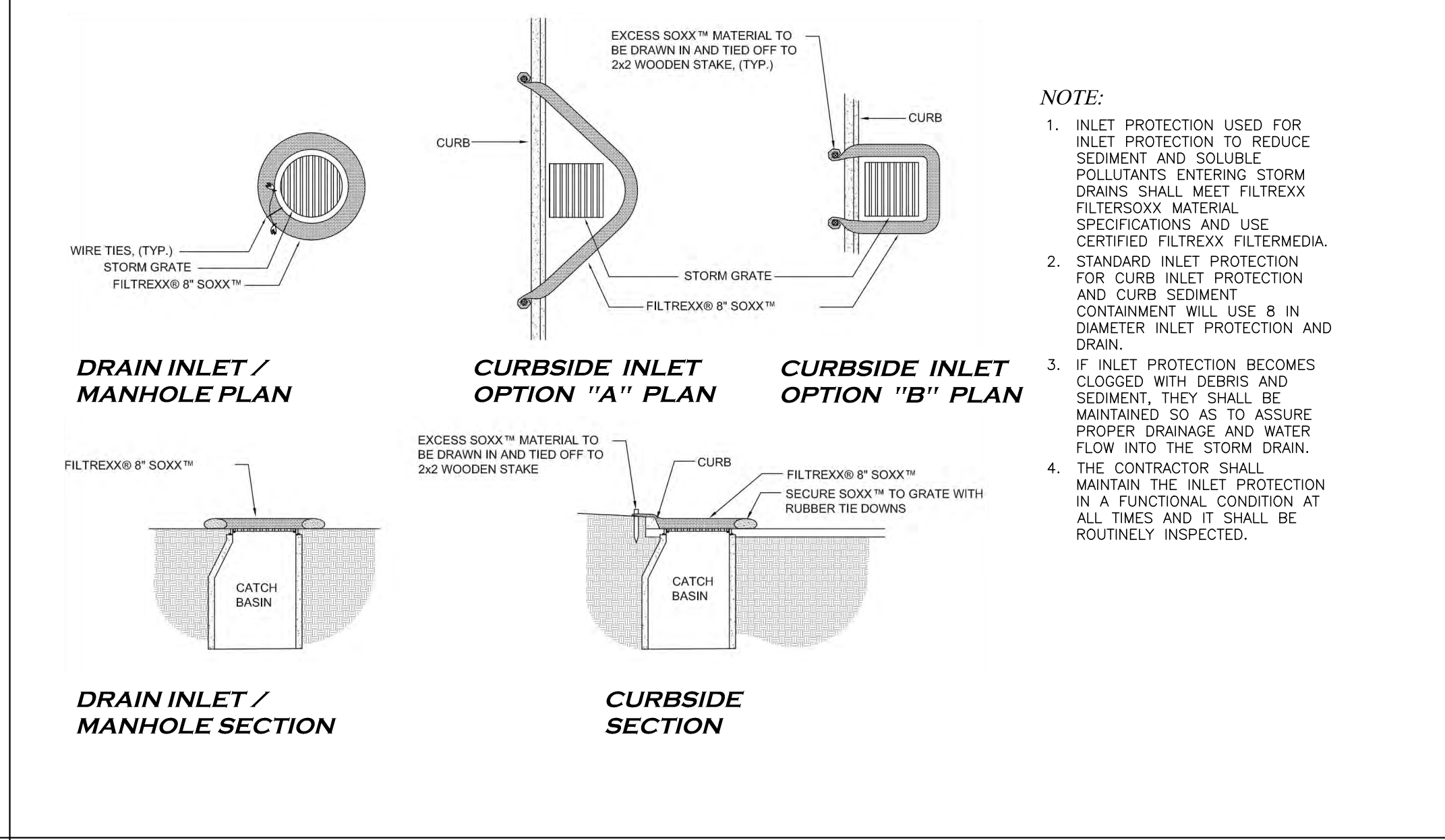
2 SILT FENCE DETAIL
N. T. S.



A SOIL EROSION AND SEDIMENT CONTROL PLAN
N. T. S.



3 SILT FENCE DETAIL
N. T. S.



4 FILTREX INLET PROTECTION DETAIL
N. T. S.

EXEMPTION

- THE PROJECT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.
- AS SUCH, THE PROJECT IS EXEMPT FROM THE SOIL DECOMPACTION REQUIREMENTS CONTAINED IN THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7TH EDITION, LAST REVISED DECEMBER 2017.

SEQUENCE OF CONSTRUCTION

- INSTALL SEDIMENT BARRIER FENCE. - DURATION OF PROJECT
- STABILIZED CONSTRUCTION ENTRANCE. - DURATION OF PROJECT
- SITE PREPARATION - CLEAR AND GRUB. - WEEK 1 THROUGH WEEK 2
- GRADING TO SUB-GRADE ELEVATIONS. - WEEK 3
- SITE AND BUILDING CONSTRUCTION. - WEEK 4 THROUGH WEEK 26
- STABILIZATION OF LOT - WEEK 23 THROUGH WEEK 26
- REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES - END OF PROJECT

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL", 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED AND HAY MULCHED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPCSD: SPRING - 3/1-5/15 AND FALL - 8/15-10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862)333-4507 OR EMAIL - INFORMATION@HEPCSD.ORG.
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT (862)333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2"-1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND A MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIALLY" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED, IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

DUST CONTROL NOTES:

- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY.

VEGETATIVE COVER - SEE STANDARD FOR VEGETATIVE COVER, SHEET C1.4B, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, SHEET C1.4B.

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT AFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIALS	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACR
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE(PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1		
POLYACRYLAMIDE(PAM) - DRY SPREAD			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

2. THE RECOMMENDED METHOD FOR THIS SITE IS SPRINKLING WITH WATER UNTIL THE SURFACE IS WET. THE CONTRACTOR SHALL MAINTAIN THE SURFACE IN A WET CONDITION.

ONE CALL

CALL BEFORE YOU DIG
FOR YOUR FREE TOLL-CUT

811
1-800-272-1000
IT'S THE LAW!

Project Title
RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

Drawing Title
SITE SOIL EROSION AND SEDIMENT CONTROL PLAN

No.	Date	Revision

Date
OCTOBER 10, 2025

Scale
AS NOTED

Drawn
INDO

Checked
CP/AS

Project
202211-SP

DATE: OCTOBER 10, 2025
SCALE: AS NOTED
DRAWN: IND
CHECKED: CP/AS
PROJECT: 202211-SP

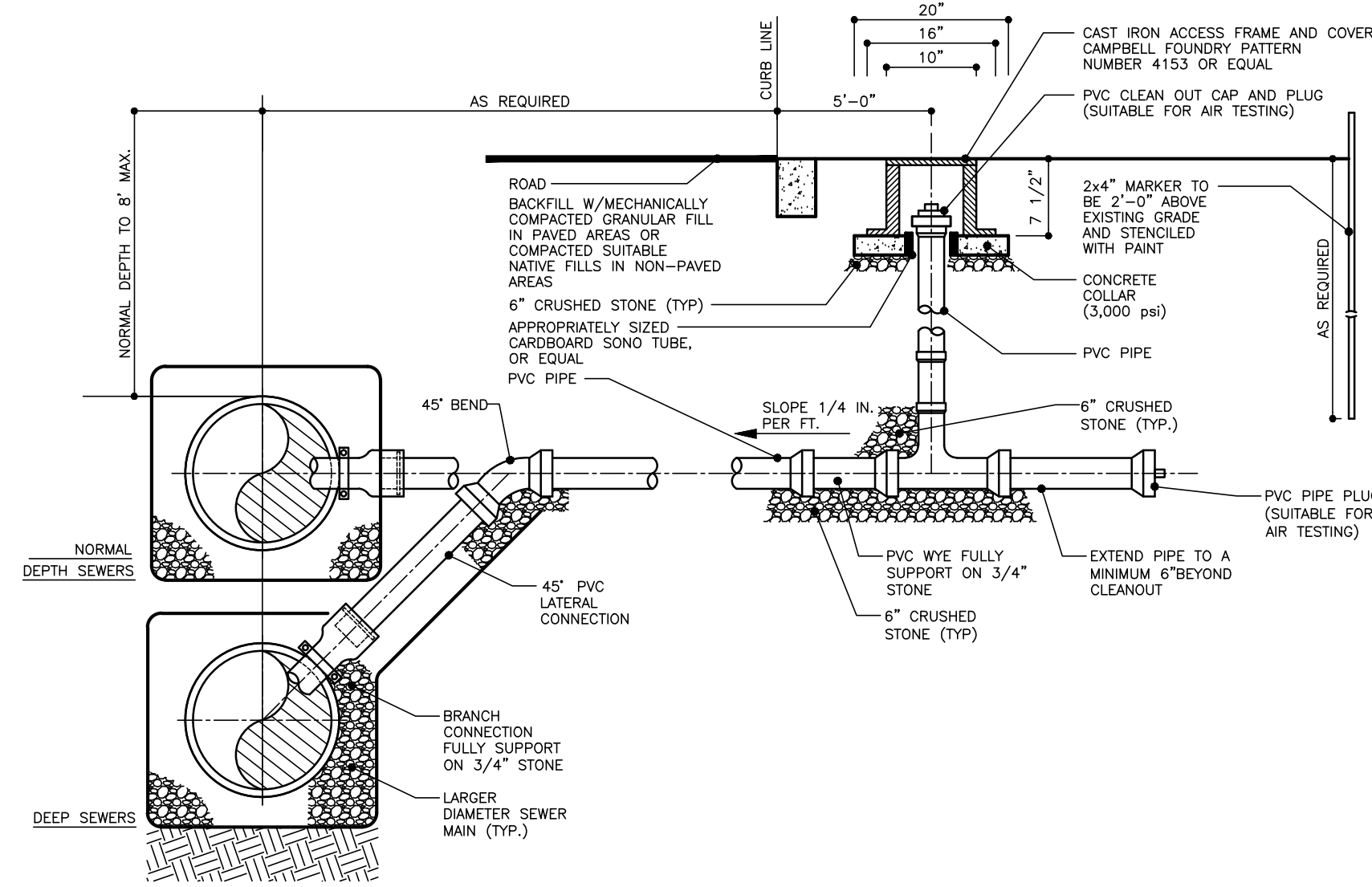
© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C.
All rights reserved. The original of this work or property of interest is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.

A. SAMBADE R.A. # 10852

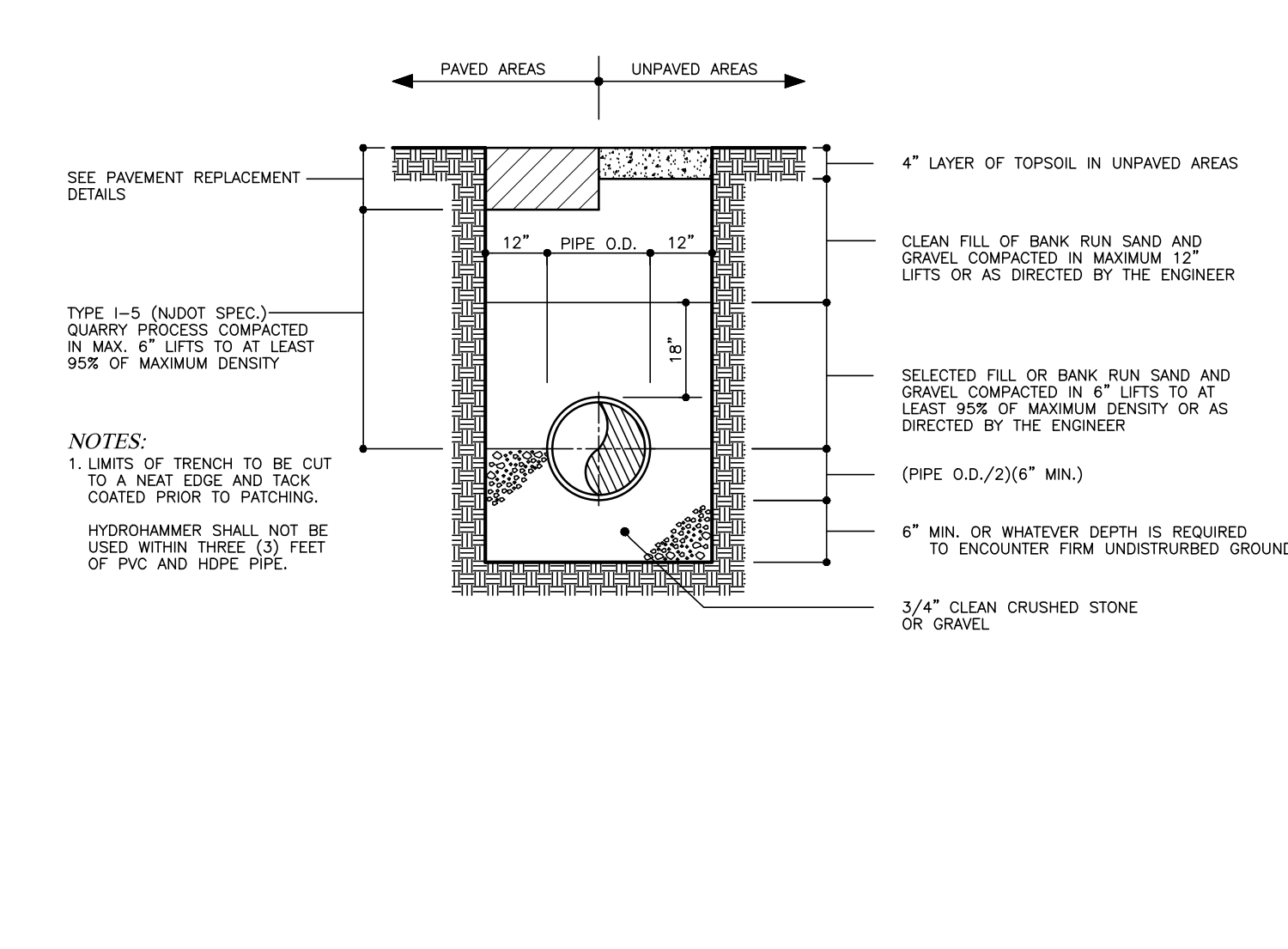
ARCHITECTURE • ENGINEERING • PLANNING
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL (201)823-0779

DAL design group

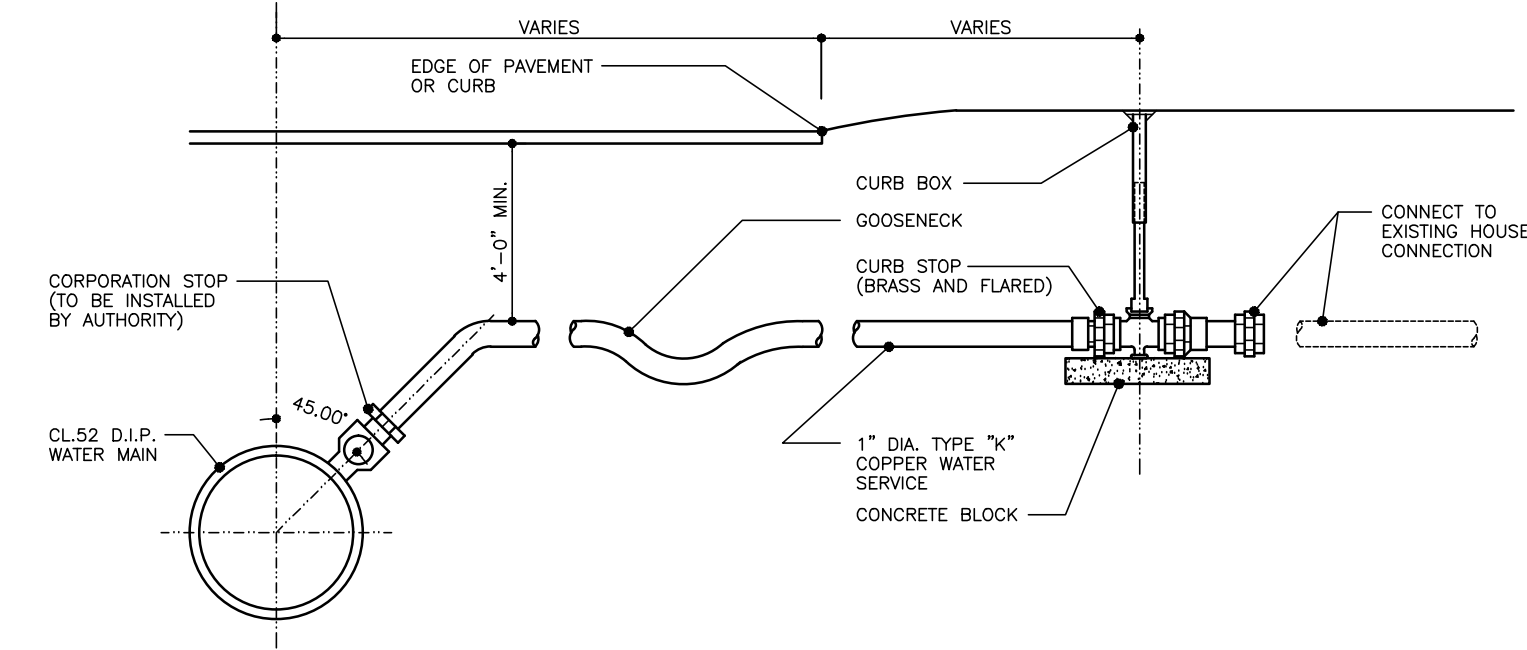
Drawing No.
C1.6



1 SERVICE LATERAL AND CLEANOUT - NEW CONNECTION
N.T.S.

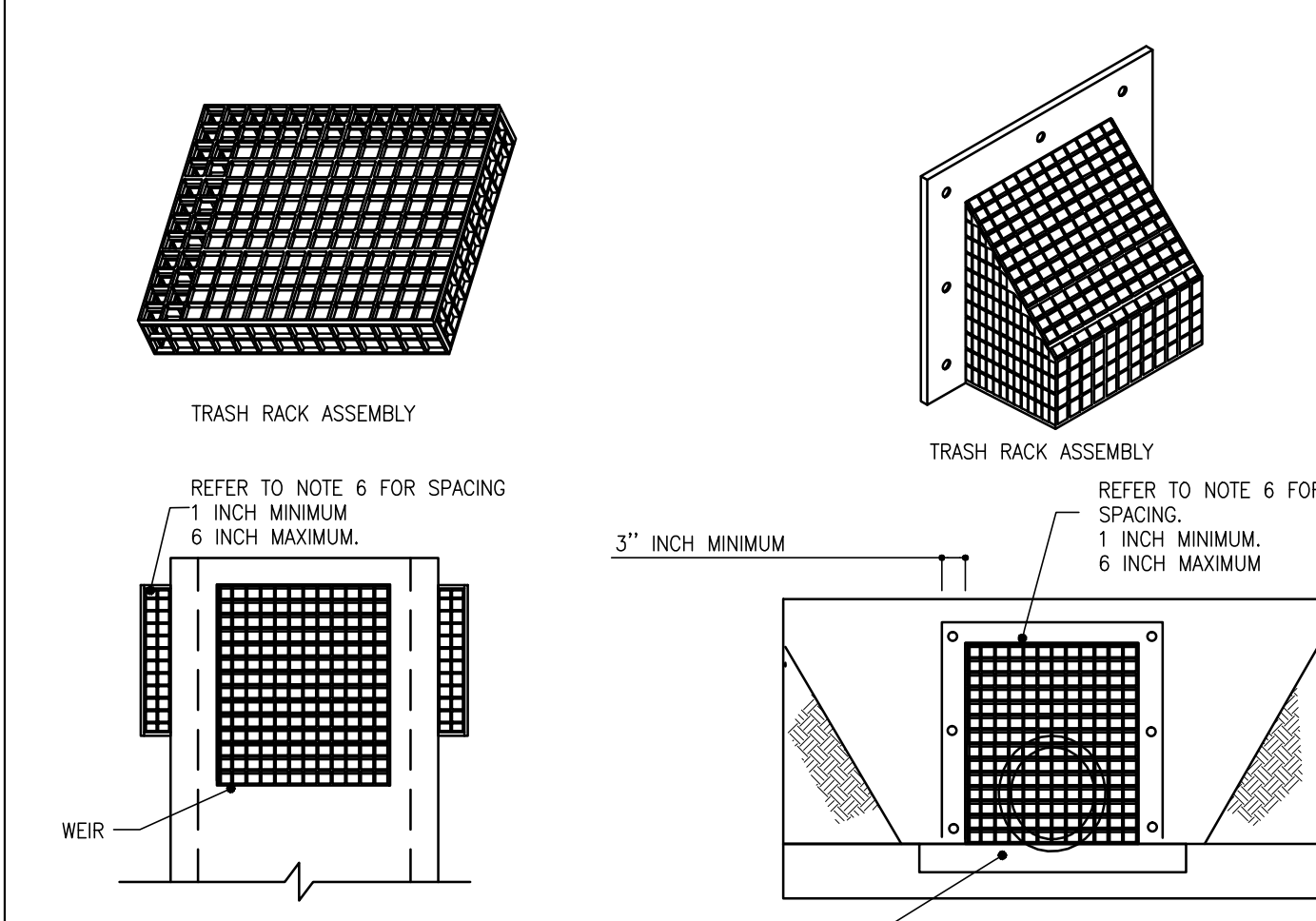


2 SURFACE RESTORATION AND TRENCH DETAIL FOR PVC AND HDPE PIPE
N.T.S.



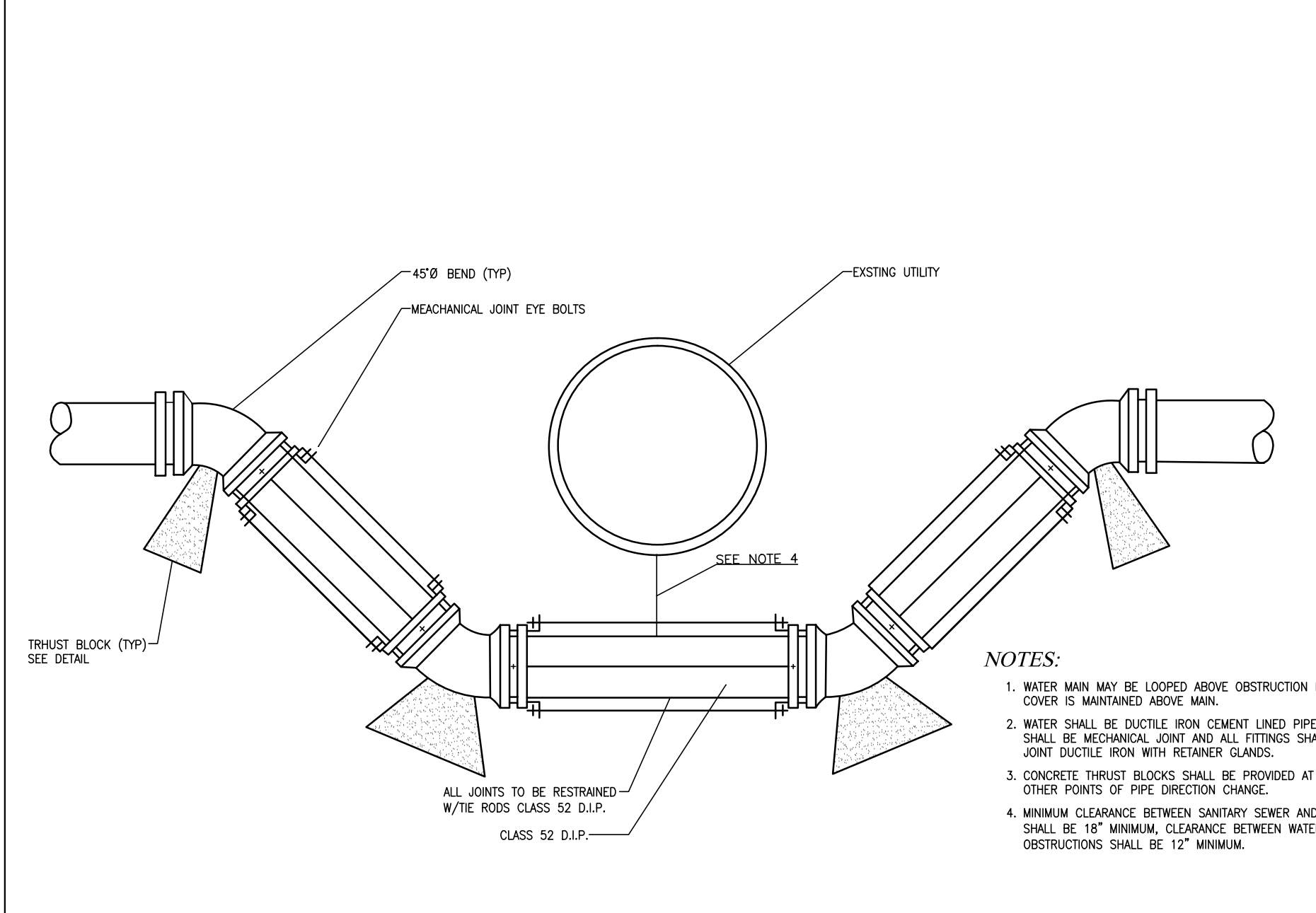
3 NEW WATER MAIN SERVICE DETAIL
N.T.S.

CHECKMATE® VALVE								
NOMINAL PIPE SIZE I.D.*		OVERALL LENGTH**		NUMBER OF CLAMPS	CUFF DEPTH		BACK PRESSURE RATING	
Inches	Millimeters	Inches	Millimeters		Inches	Millimeters	Feet	Meters
4	100	7.86	200	1	1.5	38	40	12
6	150	9	229	1	2	51	40	12
7	178	12.75	324	1	2	51	40	12
8	200	15.23	387	1	2	51	40	12
9	225	15.38	391	1	2	51	40	12
10	250	16.12	409	1	2	51	40	12
12	300	23	584	1	2	51	40	12
14	350	25.75	654	1	4	102	20	6
16	400	28.61	727	1	4	102	20	6
18	450	31	787	1	4	102	20	6
20	500	42.14	1070	2	8	203	20	6
24	600	47.5	1207	2	8	203	20	6
30	750	54.87	1394	2	8	203	20	6
36	900	62.25	1581	2	8	203	20	6
42	1050	70.62	1794	2	8	203	13	4
48	1200	79	2007	2	8	203	13	4
54	1350	86.37	2194	2	8	203	13	4
60	1500	102.5	2604	2	12	305	13	4
72	1829	119	3023	3	12	305	10	3

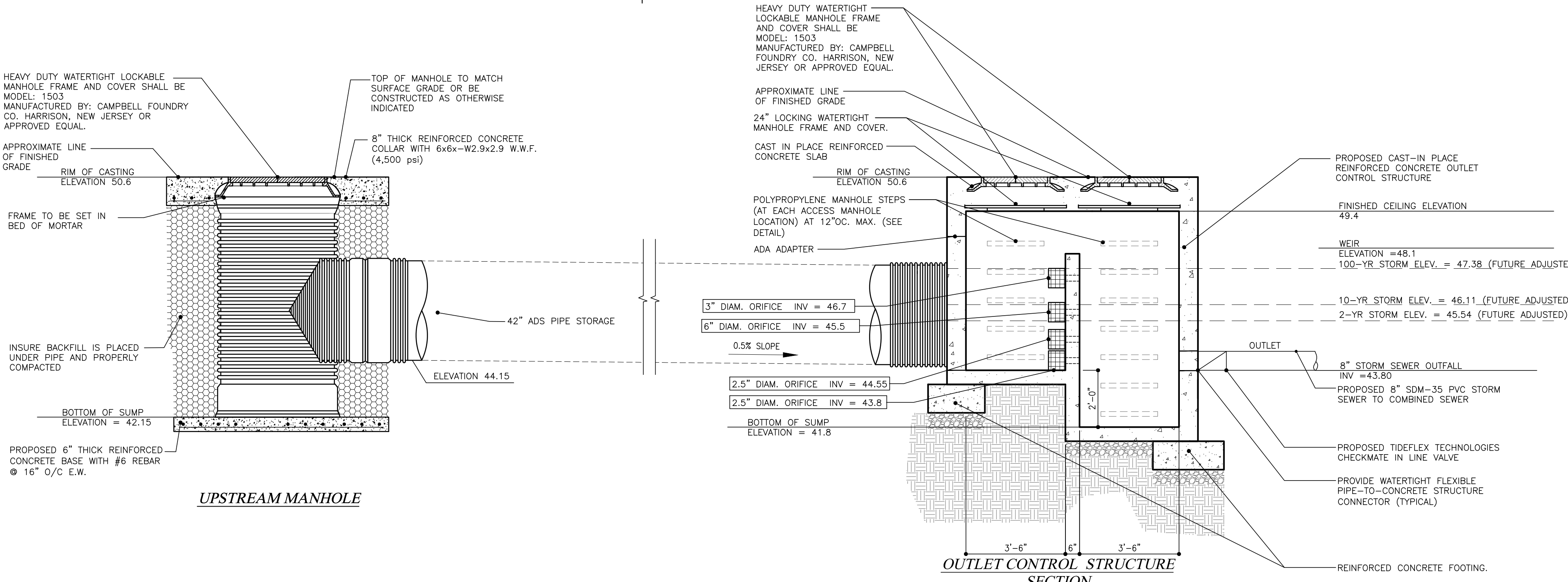


4 CHECKMATE VALVE DETAIL
N.T.S.

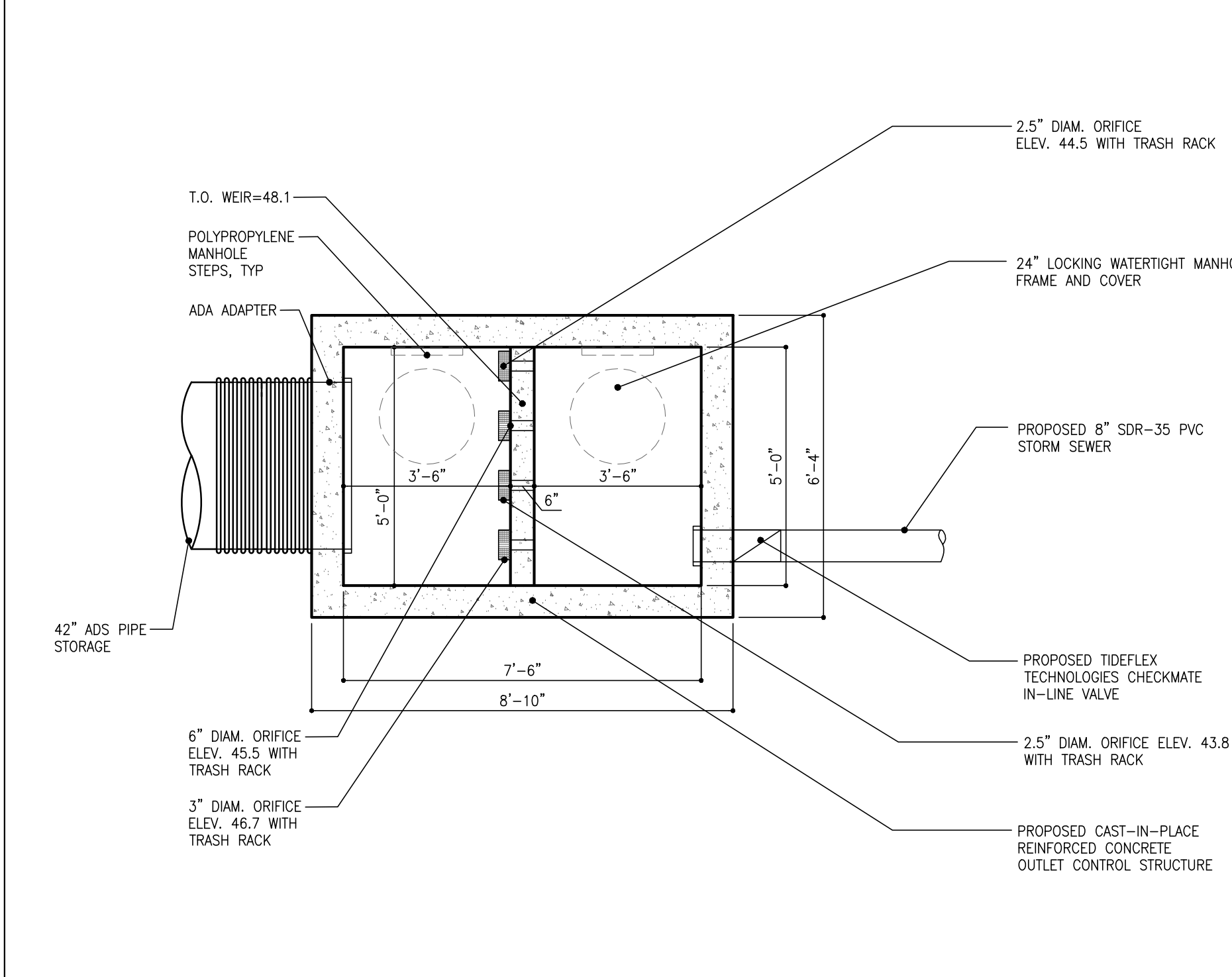
5 TRASH RACK DETAIL
N.T.S.



6 UTILITY BY-PASS
N.T.S.



7 STORM WATER MANAGEMENT - DETAIL / PROFILE
3/8" = 1'-0"



8 OUTLET CONTROL STRUCTURE PLAN
3/8" = 1'-0"

Project Title
RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

Drawing Title
SITE DETAILS

No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C. All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
A. SAMBADE R.A. # 10852

ARCHITECTURE • ENGINEERING • PLANNING
DAL design group
EILEEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL (201)823-0779

Drawing No.
C2.2

© DAL DESIGN GROUP, 2025



Project Title
RESIDENTIAL DEVELOPMENT
 1012-1022 AVENUE C
 BLOCK 64 LOTS 2 & 3
 BAYONNE,
 NEW JERSEY

Drawing Title
**PROPOSED
 FIRST FLOOR
 PLAN**

No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C.
 All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
 A. SAMBADE R.A. # 10852

DAL ARCHITECTURE • ENGINEERING • PLANNING
 EILEEN WEST EIGHTH STREET
 BAYONNE, NEW JERSEY 07002
 TEL (201)823-0779
design group

1 PROPOSED FIRST FLOOR PLAN
 1/8" = 1'-0"

RESIDENTIAL DEVELOPMENT
 1012-1022 AVENUE C
 BLOCK 64 LOTS 2 & 3
 BAYONNE,
 NEW JERSEY

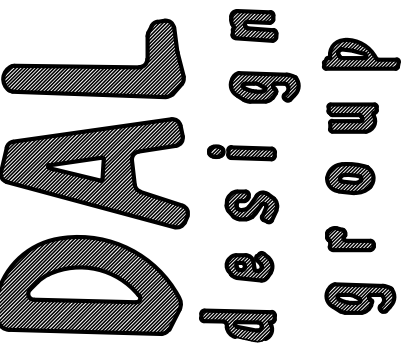
PROPOSED
 SECOND
 FLOOR PLAN

Revision	No.	Date

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C.
 All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
 A. SAMBADE R.A. # 10852

ARCHITECTURE • ENGINEERING • PLANNING
 ELEVEN WEST EIGHTH STREET
 BAYONNE, NEW JERSEY 07002
 TEL (201)823-0779



Drawing No.
A1.2



1 PROPOSED SECOND FLOOR PLAN
 1/8" = 1'-0"

Project Title
RESIDENTIAL DEVELOPMENT
 1012-1022 AVENUE C
 BLOCK 64 LOTS 2 & 3
 BAYONNE,
 NEW JERSEY

Drawing Title
PROPOSED TYPICAL FLOOR PLAN FLOOR THREE - FIVE

No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C.
 All right reserved. The original of this work or any part thereof is the property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
 A. SAMBADE R.A. # 10852

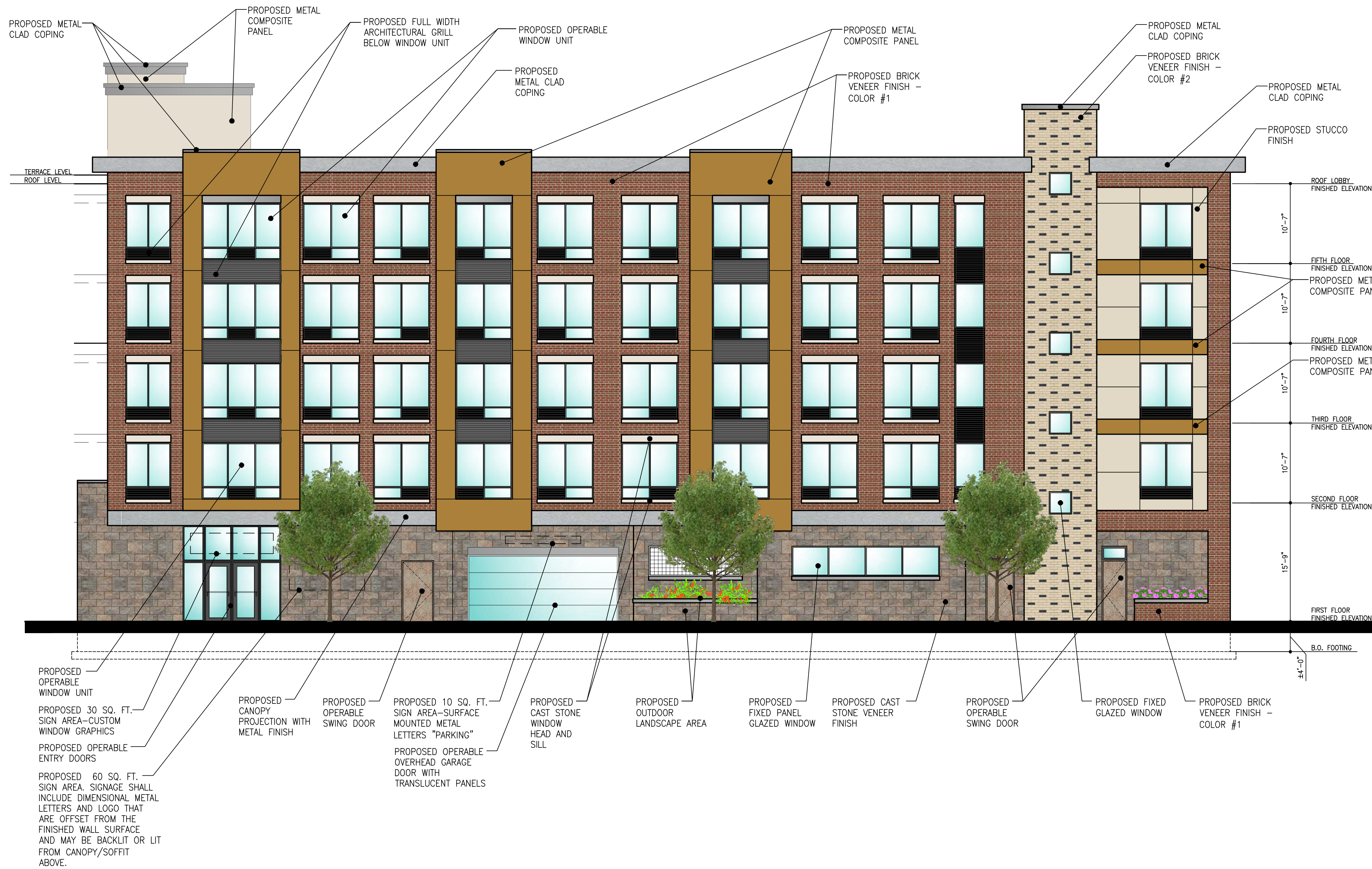
DAL ARCHITECTURE • ENGINEERING • PLANNING
 ELEVEN WEST EIGHTH STREET
 BAYONNE, NEW JERSEY 07002
 TEL (201)823-0779

DAL design group

Drawing No.
A1.3



1 PROPOSED TYPICAL FLOOR PLAN - FLOORS THREE - FIVE
 1/8" = 1'-0"



ELEVATION LEGEND

	<p>PROPOSED FULL SET BRICK VENEER FINISH.</p> <ul style="list-style-type: none"> COLOR #1 MANUFACTURER: GLEN-GERY BRICK COLOR: HARDING BLEND RED BURN SIZE: MODULAR SIZE
	<p>PROPOSED FULL SET BRICK VENEER FINISH.</p> <ul style="list-style-type: none"> COLOR #2 MANUFACTURER: GLEN-GERY BRICK COLOR: CREAM WHITE SMOOTH AND IRON VINEYARD SIZE: UTILITY SIZE
	<p>PROPOSED CAST STONE VENEER FINISH.</p> <ul style="list-style-type: none"> MANUFACTURER: AMERICAN ART STONE SERIES: MIXED BLEND -BROWN/GREY
	<p>PROPOSED STUCCO FINISH</p> <ul style="list-style-type: none"> MANUFACTURER: DRYVIT COLOR: BRIGHT WHITE-102 COLOR-ST-2
	<p>PROPOSED STUCCO FINISH</p> <ul style="list-style-type: none"> MANUFACTURER: DRYVIT COLOR: MANOR WHITE-108 COLOR-ST-1
	<p>PROPOSED METAL COMPOSITE PANEL FINISH</p> <ul style="list-style-type: none"> MANUFACTURER: ALUCOBOND COLOR: COLORADO GOLD METALIC
	<p>PROPOSED METAL CLAD CORNICE</p> <ul style="list-style-type: none"> MANUFACTURER: ALUCOBOND COLOR: BRUSHED SILVER
	<p>PROPOSED OPERABLE, ALUMINUM FRAME WINDOWS AND PATIO DOORS</p> <ul style="list-style-type: none"> MANUFACTURER: KAWNEER CO. OR APPROVED EQUAL COLOR: BLACK

© DAL DESIGN GROUP 2025

Project Title
RESIDENTIAL DEVELOPMENT
 1012-1022 AVENUE C
 BLOCK 64 LOTS 2 & 3
 BAYONNE,
 NEW JERSEY

Drawing Title
WEST ELEVATION AND ELEVATIONS LEGEND

No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025, DAL DESIGN GROUP, P.C. All right reserved. The original of this work or property of DAL DESIGN GROUP, P.C. No part of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
 A. SAMBUE R.A. # 10852

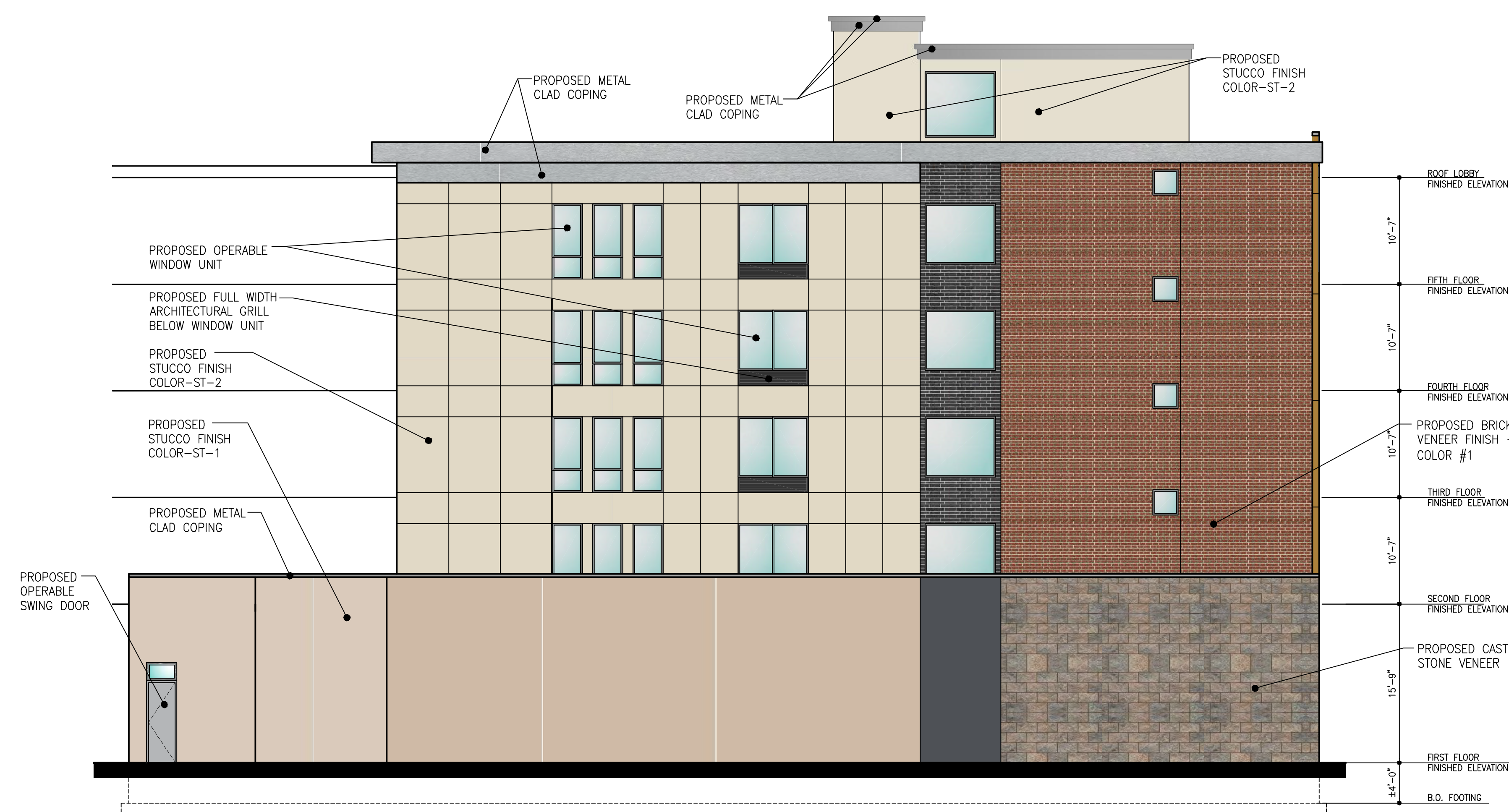
DAL design group
 ARCHITECTURE • ENGINEERING • PLANNING
 ELEVEN WEST EIGHTH STREET
 BAYONNE, NEW JERSEY 07002
 TEL: (201)823-0779

1 PROPOSED WEST ELEVATION
 1/8" = 1'-0"

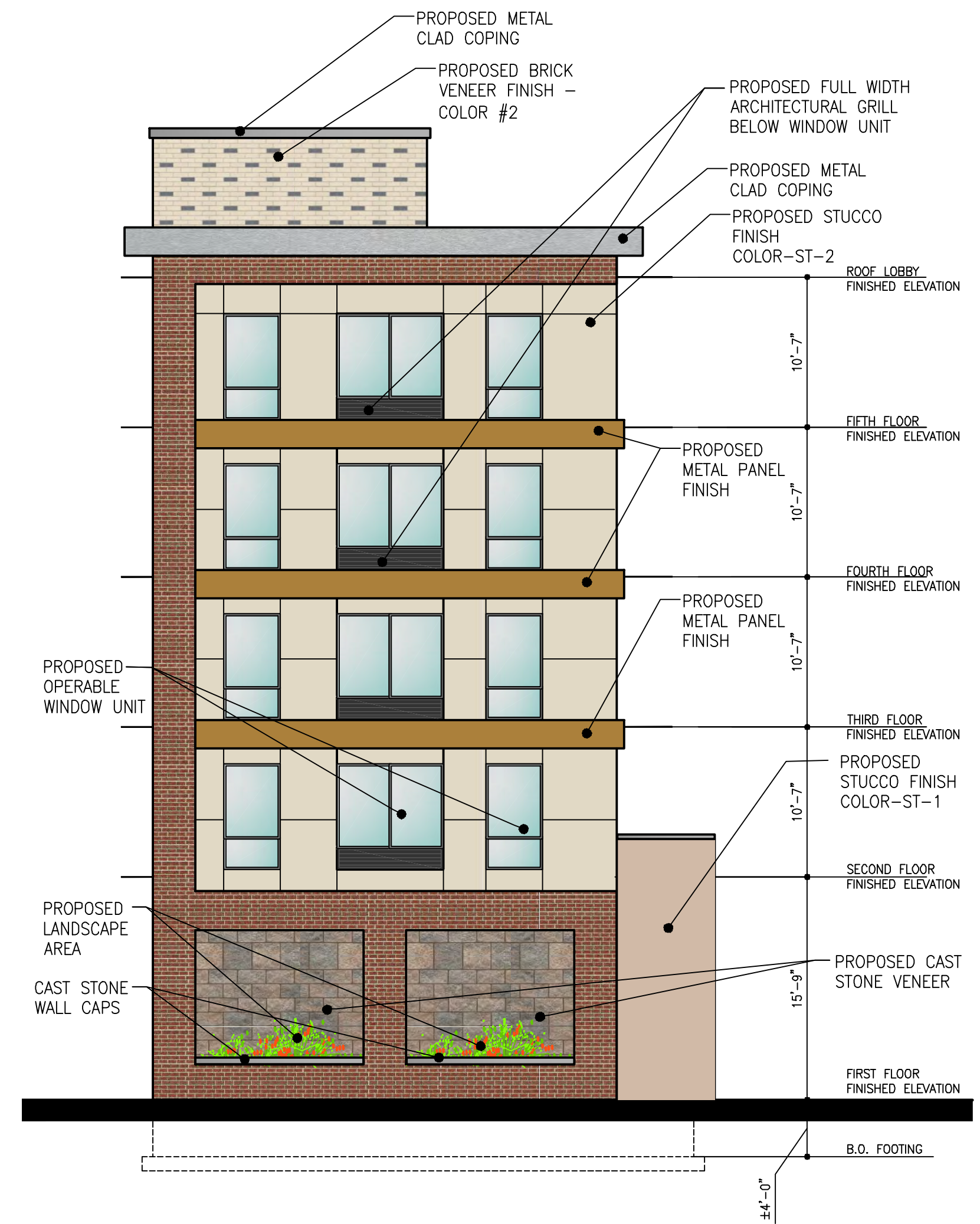
Drawing No.
A2.1



1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/8" = 1'-0"



3 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

© DAL DESIGN GROUP 2025

Project Title
RESIDENTIAL DEVELOPMENT
1012-1022 AVENUE C
BLOCK 64 LOTS 2 & 3
BAYONNE,
NEW JERSEY

Drawing Title
PROPOSED ELEVATIONS

No.	Date	Revision

Date	OCTOBER 10, 2025
Scale	AS NOTED
Drawn	INDO
Checked	CP/AS
Project	202211-SP

© COPYRIGHT, 2025 DAL DESIGN GROUP, P.C. All right reserved. The original of this work or property of DAL DESIGN GROUP, P.C. No portion of this drawing or any part thereof is strictly prohibited except by DAL DESIGN GROUP, P.C.
A. SAMBADE R.A. # 10852

DAL design group
ARCHITECTURE • ENGINEERING • PLANNING
ELEVEN WEST EIGHTH STREET
BAYONNE, NEW JERSEY 07002
TEL. (201)823-0779

Drawing No.
A2.2