

MULTIFAMILY RESIDENTIAL

BAYONNE, NJ 07002

BLOCK:262, LOT:7, 8 & 9

HUDSON COUNTY



BUILDING AND SITE DATA	
ITEM	DATA
BLOCK NO.	282
LOT NO.	7-8-8-9
ZONING	281-373 JPK BLVD. RDP
SITE AREA	18,167.20 (0.37 ACRES)
OCCUPANCY	R-2, M
USE GROUP	R-2, M, S-2
CONSTRUCTION TYPE	1ST TO 2ND FLOOR: IA, SRD AND ABOVE: VA
BUILDING AREA	73,450 SF
PRIMARY STRUCTURAL FRAME FIRE RATING	2HR & 1HR
EXTERIOR BEARING WALL FIRE RATING	2HR & 1HR
INTERIOR BEARING WALL FIRE RATING	2HR & 1HR
NON-BEARING INTERIOR WALLS AND PARTITIONS FIRE RATING	2HR
FLOOR CONSTRUCTION FIRE RATING	2HR & 1HR
ROOF CONSTRUCTION FIRE RATING	1HR

CONSTRUCTION CODE COMPLIANCE

- 1 2001 INTERNATIONAL BUILDING CODE WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.14)
- 2 2001 NATIONAL STANDARD FLOORING CODE WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.15)
- 3 2001 INTERNATIONAL MECHANICAL CODE WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.16)
- 4 2002 NATIONAL ELECTRIC CODE WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.17)
- 5 I.B.C. 5-10 UNIFORM FIRE CODE
- 6 I.B.C. 5-20-7 BARBER FINE GUIDANCE AND ANSI A107-10617 WITH TECHNICAL AMENDMENTS
- 7 ASHRAE 90-1-2001 WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.18)
- 8 2001 INTERNATIONAL FUEL GAS CODE WITH TECHNICAL AMENDMENTS (I.B.C. 5-20-3.20)



① LOCATION MAP
1" = 100'-0"



④ ZONING MAP
1" = 400'-0"

GROSS UNIT AREA SCHEDULE		
UNIT NO.	UNIT TYPE	AREA
SECOND FLOOR		
UNIT 201	ONE BEDROOM	1097 SF
UNIT 202	ONE BEDROOM	774 SF
UNIT 203	TWO BEDROOM	1144 SF
UNIT 204	TWO BEDROOM	900 SF
UNIT 205	TWO BEDROOM	1097 SF
UNIT 206	ONE BEDROOM	665 SF
UNIT 207	ONE BEDROOM	755 SF
UNIT 208	ONE BEDROOM	755 SF
UNIT 209	ONE BEDROOM	755 SF
UNIT 210	TWO BEDROOM	956 SF
UNIT 211	ONE BEDROOM	665 SF
UNIT 212	ONE BEDROOM	665 SF
12		10374 SF
THIRD FLOOR		
UNIT 301	TWO BEDROOM	1097 SF
UNIT 302	ONE BEDROOM	774 SF
UNIT 303	TWO BEDROOM	1097 SF
UNIT 304	TWO BEDROOM	1097 SF
UNIT 305	TWO BEDROOM	1097 SF
UNIT 306	ONE BEDROOM	665 SF
UNIT 307	ONE BEDROOM	755 SF
UNIT 308	ONE BEDROOM	775 SF
UNIT 309	ONE BEDROOM	755 SF
UNIT 310	ONE BEDROOM	785 SF
UNIT 311	ONE BEDROOM	656 SF
UNIT 312	ONE BEDROOM	656 SF
UNIT 313	TWO BEDROOM	1035 SF
UNIT 314	STUDIO	585 SF
14		11585 SF
FOURTH FLOOR		
UNIT 401	TWO BEDROOM	1097 SF
UNIT 402	ONE BEDROOM	774 SF
UNIT 403	TWO BEDROOM	1097 SF
UNIT 404	TWO BEDROOM	1075 SF
UNIT 405	TWO BEDROOM	1097 SF
UNIT 406	ONE BEDROOM	665 SF
UNIT 407	ONE BEDROOM	755 SF
UNIT 408	ONE BEDROOM	775 SF
UNIT 409	ONE BEDROOM	755 SF
UNIT 410	ONE BEDROOM	785 SF
UNIT 411	ONE BEDROOM	656 SF
UNIT 412	ONE BEDROOM	656 SF
UNIT 413	TWO BEDROOM	1035 SF
UNIT 414	STUDIO	585 SF
14		11654 SF
FIFTH FLOOR		
UNIT 501	TWO BEDROOM	1016 SF
UNIT 502	ONE BEDROOM	694 SF
UNIT 503	ONE BEDROOM	660 SF
UNIT 504	TWO BEDROOM	1001 SF
UNIT 505	ONE BEDROOM	660 SF
UNIT 506	ONE BEDROOM	660 SF
UNIT 507	STUDIO	506 SF
UNIT 508	ONE BEDROOM	735 SF
UNIT 509	ONE BEDROOM	765 SF
UNIT 510	ONE BEDROOM	660 SF
UNIT 511	ONE BEDROOM	660 SF
UNIT 512	TWO BEDROOM	1035 SF
UNIT 513	ONE BEDROOM	785 SF
13		8655 SF
SIXTH FLOOR		
UNIT 601	TWO BEDROOM	1016 SF
UNIT 602	ONE BEDROOM	694 SF
UNIT 603	ONE BEDROOM	660 SF
UNIT 604	TWO BEDROOM	1031 SF
UNIT 605	ONE BEDROOM	660 SF
UNIT 606	ONE BEDROOM	660 SF
UNIT 607	STUDIO	506 SF
UNIT 608	ONE BEDROOM	735 SF
UNIT 609	ONE BEDROOM	765 SF
UNIT 610	ONE BEDROOM	660 SF
UNIT 611	ONE BEDROOM	660 SF
UNIT 612	TWO BEDROOM	1035 SF
UNIT 613	ONE BEDROOM	785 SF
13		8655 SF
Grand Total:		102073 SF

ZONING TABULATION CHART (R-2 DETACHED/ATTACHED RESIDENTIAL DISTRICT)				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE
PERMITTED USES	GROUND FLOOR: ART GALLERY, ART/PERFORMANCE/INSTRUCTIONAL STUDIO, BAR, BREWERY, BRENNEIS, CAFE, CIDER, COMMERCIAL RECREATION (INDOOR), MEADERY, MULTIFAMILY DWELLINGS, PERSONAL SALES AND SERVICE, ESTABLISHMENTS, RESTAURANTS, RETAIL SALES, RETAIL SERVICES, SHARED-WORK SPACE, SIDEWALK CAFE, TAVERN AND A COMBINATION OF ANY OF THE PRECEDING USES. ABOVE GROUND FLOOR: MULTIFAMILY RESIDENTIAL DWELLINGS.	DETACHED SINGLE-FAMILY DWELLINGS	GROUND FLOOR: RETAIL. ABOVE GROUND FLOOR: MULTIFAMILY RESIDENTIAL.	NO
FRONT YARD SETBACK	JOHN F. KENNEDY BOULEVARD SIDE: ALL FLOOR: 0'-0" TO 5'-0"; W. 12TH STREET SIDE: GROUND TO FOURTH FLOOR: 0'-0" TO 15'-0", ABOVE FOURTH FLOOR: 3'-0" TO 10'-0"	N/A	JOHN F. KENNEDY BOULEVARD SIDE: 0'-0" TO 1'-0"; W. 12TH STREET SIDE: GROUND TO FOURTH FLOOR: 0'-0" TO 3'-0", ABOVE FOURTH FLOOR: 0'-0"	NO
SIDE YARD SETBACK	0'-0" IF GROUND FLOOR ADJACENT TO BLOCK 6, 10 OR 11 IS UTILIZED FOR INTERNAL PARKING, PROVIDED THE HEIGHT DOES NOT EXCEED 30'-0" ABOVE EXISTING GRADE. OTHERWISE, FROM JFK BLVD. R.O.W. TO A DEPTH OF 15'-0", 0'-0" BEYOND DEPTH OF 70'-0" FROM JFK BLVD. R.O.W. 10'-0". ABOVE FOURTH FLOOR: MIN. 12'-0" SETBACK FROM LOT 6 AND 11; MIN. 5'-0" SETBACK TO LOT 10.	N/A	3'-11" TO 4'-0". GROUND FLOOR UTILIZED FOR INTERNAL PARKING. HEIGHT DOES NOT EXCEED 30'-0" ABOVE EXISTING GRADE.	NO
REAR YARD SETBACK	3'-0" WHEN ADJACENT TO LOT 6, 10 & 11-0" WHEN ADJACENT TO LOT 11.	N/A	SECOND TO FOURTH FLOOR: 0'-0" TO 22'-0". ABOVE FOURTH FLOOR: 15'-0" TO 22'-0"	NO
LOT FRONTAGE	JFK BLVD: MIN. 180'-0" W. 12TH ST: MIN. 90'-0"	N/A	APPROX: 171'-4" W. 12TH ST: 92'-0"	NO
BUILDING HEIGHT	MAX. 75'-0" AND 6 STORIES.	N/A	72'-0" AND 6 STORIES	NO
MIN. SETBACK OF OUTDOORS RECREATION	0'-0" FOR TERRACES ON FIRST TO FOURTH STORY; 10'-0" FOR TERRACES ABOVE FIFTH STORY.	N/A	VARIES FROM 5'-0" TO 15'-0"	NO
LOT COVERAGE	THE PERCENTAGE OF LOT AREA COVERED BY A GROUND FLOOR, DESIGNED IN ACCORDANCE WITH THE STANDARDS OF 6.9.G, MAY OFFSET BUILDING COVERAGE AT A RATIO OF 1:1.	N/A	8% (15,759 SF)	NO
AUTOMOBILE PARKING SPACES	MIN. 1 SPACE PER STUDIO AND ONE-BEDROOM UNIT AND 1.25 SPACE PER TWO-BEDROOM UNIT. 1 SPACE PER EACH 1,000 SF OF NON-RESIDENTIAL USES FOR ESTABLISHMENTS. (7) SPACES.	N/A	11 SPACES	NO
RESIDENTIAL FLOOR AREA AND RATIO OF DWELLINGS	STUDIO (MAX. 33%; 550 SF; ONE-BEDROOM (MAX. 30%; MIN. 650 SF; TWO-BEDROOM (MAX. 60%; MIN. 900 SF; NO THREE-BEDROOM UNITS ARE PERMITTED. MAX. 10% OF THE UNITS FOR EACH BEDROOM CATEGORY SHALL BE PERMITTED TO HAVE A FLOOR AREA LESS THAN 10% OF THE MINIMUMS INDICATED.	N/A	STUDIO (3.97%); FROM 528 SF TO 590 SF; ONE-BEDROOM (5.85%); 660 SF TO 774 SF; TWO-BEDROOMS (27.19%); 1,001 SF TO 1,235 SF.	NO
Bike PARKING	MIN. 0.5 SPACE PER UNIT AND 1 SPACE FOR EVERY 500 SF OF NON-RESIDENTIAL ESTABLISHMENT (24 SPACES).	N/A	34 SPACES	NO
DENSITY	NO REQUIREMENT	N/A	60 UNITS	NO
FAR	NO REQUIREMENT	N/A	3.9% (EXCLUDE PARKING AND UTILITY)	NO

GROSS BUILDING AREA	
DEPARTMENT	AREA
CELLAR	
CIRCULATION	279 SF
GEORACE	452 SF
UTILITY	242 SF
	973 SF
FIRST FLOOR	EL. 100.5
CIRCULATION	355 SF
TRAINING	1,237 SF
RETAIL	962 SF
GEORACE	400 SF
UTILITY	261 SF
	3,215 SF
SECOND FLOOR	
SALEITY	1,584 SF
CIRCULATION	1,295 SF
RESIDENTIAL	3,024 SF
GEORACE	87 SF
UTILITY	33 SF
	3,000 SF
THIRD FLOOR	
CIRCULATION	1,295 SF
RESIDENTIAL	11,854 SF
GEORACE	87 SF
UTILITY	33 SF
	3,000 SF
FOURTH FLOOR	
CIRCULATION	1,295 SF
RESIDENTIAL	11,854 SF
GEORACE	87 SF
UTILITY	33 SF
	3,000 SF
FIFTH FLOOR	
CIRCULATION	1,584 SF
RESIDENTIAL	3,062 SF
GEORACE	87 SF
	11,104 SF
SIXTH FLOOR	
CIRCULATION	1,584 SF
RESIDENTIAL	3,062 SF
GEORACE	87 SF
	11,104 SF
ROOF DECK	
CIRCULATION	217 SF

PARKING SPACE TYPE	PROPOSED
ADA PARKING 8' x 12' (25 Auto)	1
ADA PARKING 8' x 16' (0 Auto)	2
PARK LIPS 450 - 190 STANDARD	28 x 2
PARK LIPS 450 - 190 COMPACT	8 x 2
Total	39

PARKING CALCULATION:
STUDIO + ONE BEDROOM = 4 + 40 = 44 SPACES
TWO BEDROOM = 30 + 1 = 25 = 25 SPACES
TOTAL REQUIRED PARKING = 40 + 25 = 75 SPACES

NET PARKING CALCULATION:
0.5 SPACE PER UNIT (60) = 30 SPACES
1 SPACE PER 500 SF OF NON-RESIDENTIAL ESTABLISHMENT + 1 SPACE
TOTAL REQUIRED NET PARKING = 30 + 1 = 31 SPACES

UNIT MIX SCHEDULE		
UNIT TYPE	NO. IN BUILDING	MIN. AND MAX. AREA
STUDIO	4 (0.67%)	500 SF - 500 SF
ONE BEDROOM	43 (63.63%)	500 SF - 774 SF
TWO BEDROOM	20 (30.30%)	800 SF - 1104 SF
TOTAL	67	

ZONING DISTRICTS WITHIN 1000'	
ZONE	TYPE
REDEVELOPMENT PLAN	361-375 JOHN F. KENNEDY BOULEVARD RDP
ZONING DISTRICT C-1	NEIGHBORHOOD COMMERCIAL DISTRICT
ZONING DISTRICT C-2	COMMUNITY COMMERCIAL DISTRICT
ZONING DISTRICT S-A	LIGHT INDUSTRIAL DISTRICT - A
ZONING DISTRICT S-B	DETACHED ATTACHED RESIDENTIAL DISTRICT
ZONING DISTRICT S-3	MEDIUM DENSITY RESIDENTIAL DISTRICT

PLANNING BOARD ARCHITECTURAL SHEET LIST	
SHEET NUMBER	NAME
PD-000	TITLE SHEET
PD-010	CONTEXT PHOTOS
PD-020	SITE PLAN
PD-030	EXISTING PLANS
PD-040	BIKE AND TRASH REMOVAL
PD-100	CELLAR FLOOR PLAN
PD-101	FIRST FLOOR PLAN
PD-102	SECOND FLOOR PLAN
PD-103	THIRD & FOURTH FLOOR PLAN
PD-104	FIFTH FLOOR PLAN
PD-105	SIXTH FLOOR PLAN
PD-106	ROOF PLAN
PD-200	CONTEXT ELEVATIONS
PD-201	JOHN F. KENNEDY BLVD STREET ELEVATION
PD-202	WEST 10TH STREET ELEVATION
PD-203	REAR ELEVATION
PD-204	SEW ELEVATION
PD-301	SECTION 01
PD-400	ENLARGED DETAILS
PD-401	AXON VIEW
PD-402	PROPERTY MAP

BAYONNE PLANNING BOARD	
CHAIRMAN _____	DATE _____
SECRETARY _____	DATE _____
CITY ENGINEER _____	DATE _____
PLANNING BOARD APPROVAL	



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A0173520

Nicole Robertson, AIA
NJ License # 21A0165110

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK-362 LOT-7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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DEVELOPMENT APPLICATION		
PROJECT SUBMISSION		
SUBMITTED: 17 JUNE 2020		
RECEIVED		
NO.	DATE	DESCRIPTION
1	06/17/20	RESPOND TO PLANNER. REVIEW COMMENTS

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PROJECT NUMBER	DATE
DESCRIPTION RG NR	DESCRIPTION NR RG
SHEET TITLE TITLE SHEET	
SHEET NO.	PAGE NO.
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AERIAL VIEW



VIEW FROM THE CORNER OF W 12TH STREET AND JFK BOULEVARD



VIEW FROM W 12TH STREET



VIEW FROM JOHN F. BOULEVARD

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GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101735200

Nicole Robertson, AIA
NJ License # 21A101551100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 262 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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NO.	DATE	DESCRIPTION

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 RG NR: _____ NR RG: _____
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 CONTEXT PHOTOS
 SHEET NO.: _____ PAGE NO.: _____
PB-010



1 SITE PLAN
1/16" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID1735200

Nicole Robertson, AIA
NJ License # 21AID1651100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 282 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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DISCUSSION ATTACHED

PROJECT DESCRIPTION

PREPARED: 17 JUNE 2025

REVISIONS

NO.	DATE	DESCRIPTION
1	06/17/25	RESPOND TO PLANNER REVIEW COMMENTS

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PROJECT LOCATION: Designer: MR. Author:
DATE: 06/17/25 Designer: MR. NR: RG

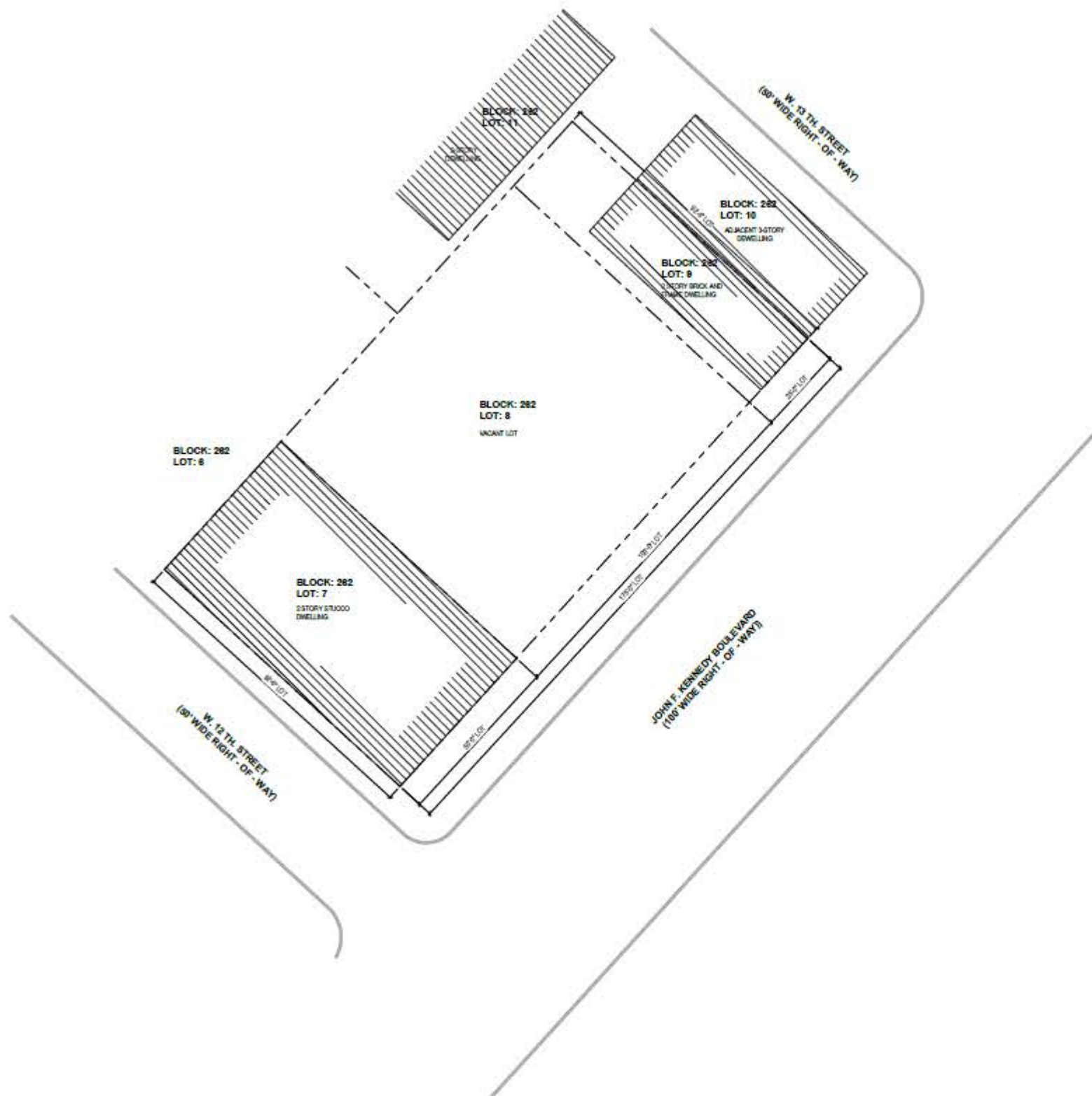
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SITE PLAN

SHEET NO.: 1

PLANS: 01

PB-030.01

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1 EXISTING PLAN
1/16" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID17352001
Nicole Robertson, AIA
NJ License # 21AID1651100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK: 282 LOT: 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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DISCUSSION APPLICATION

PROJECT SUBMISSION

PREPARED: 17 JUNE 2020

REVISION

NO.	DATE	DESCRIPTION

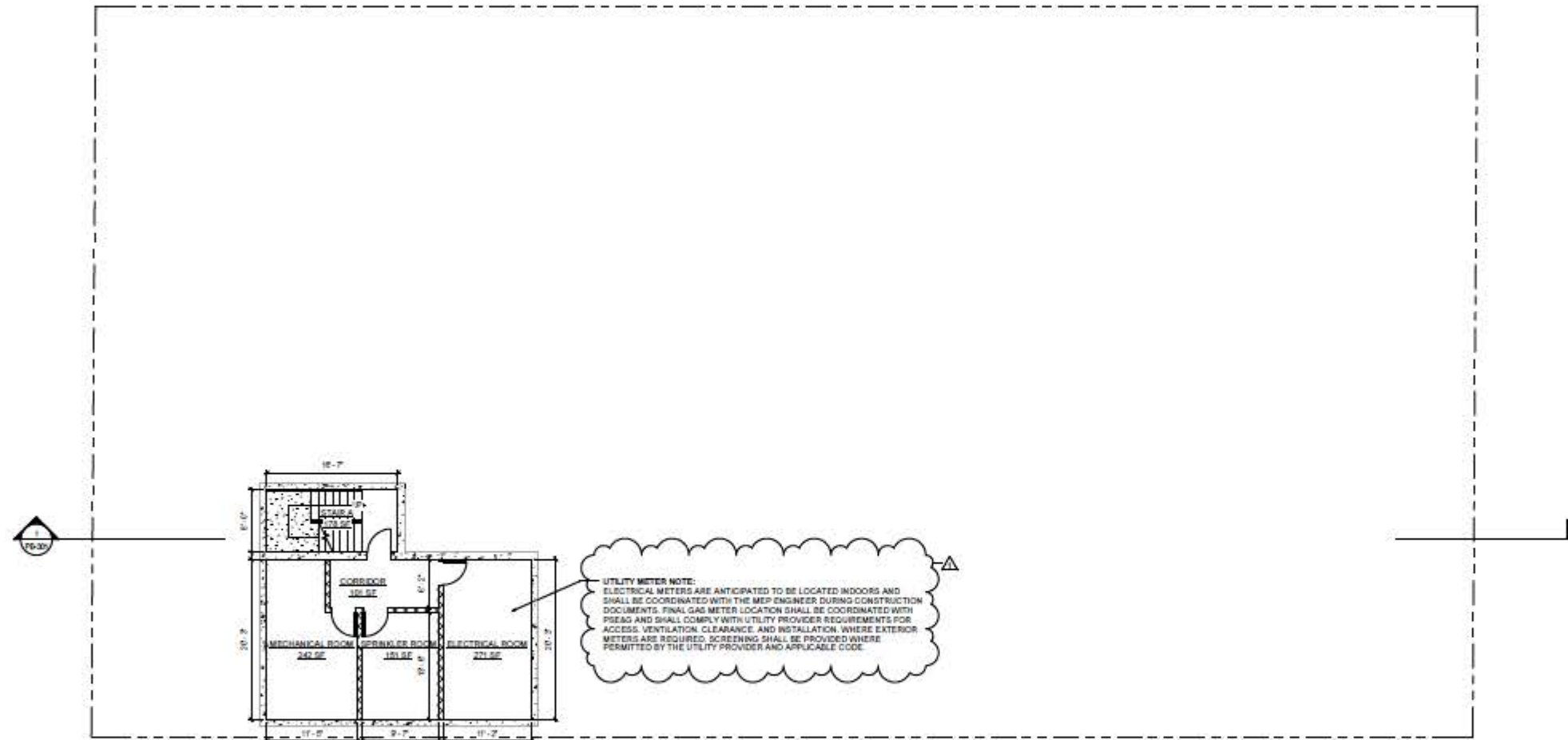
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DESIGNER: 00000000
AUTHOR: 00000000
CHECKER: 00000000
REVISION: 00000000

EXISTING PLANS

PB-050

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1 CELLAR FLOOR PLAN
1/8" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID1735200
Nicole Robertson, AIA
NJ License # 21AID1551100

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MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK:262 LOT:7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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PROJECT NUMBER: 21AID1735200
AUTHOR: Richard Garber, AIA
DATE: 06/17/26
REVISION: 01
CELLAR FLOOR PLAN
PAGE 100.01

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361-373 JOHN F. KENNEDY
BAYONNE, NJ 07002
BLOCK:262 LOT:7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
oey@oea-corp.com

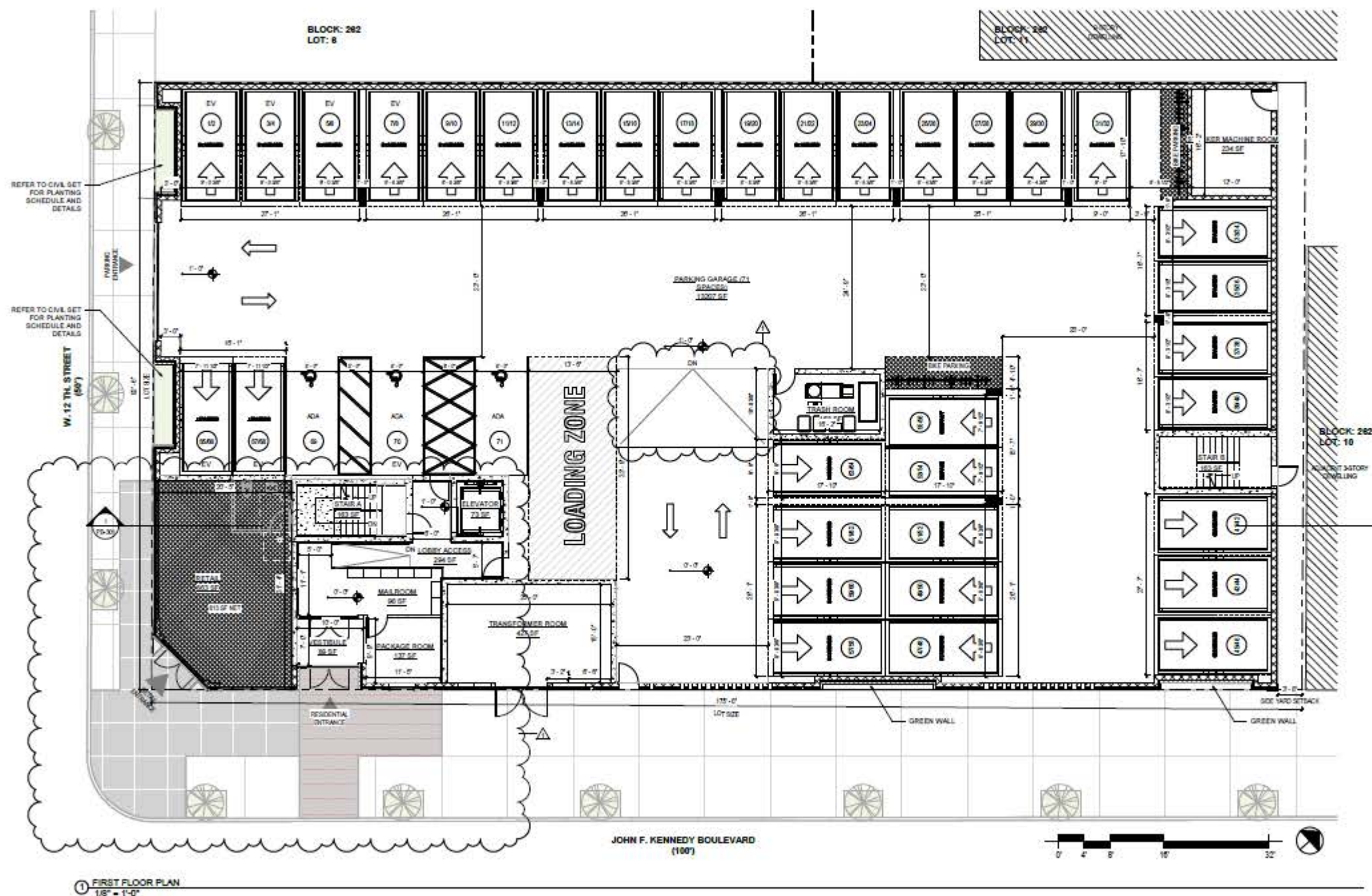
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PRODUCED BY	DR. R. R. R.
REVIEWED BY	DR. R. R. R.
FIRST FLOOR PLAN	

PB-101.01



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GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID17952001

Nicole Robertson, AIA
NJ License # 21AID1651100

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MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS ATTACHED

PROJECT SUBMISSION

DATE: 17 JUNE 2026

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1	06/17/26	RESPOND TO PLANNER REVIEW COMMENTS

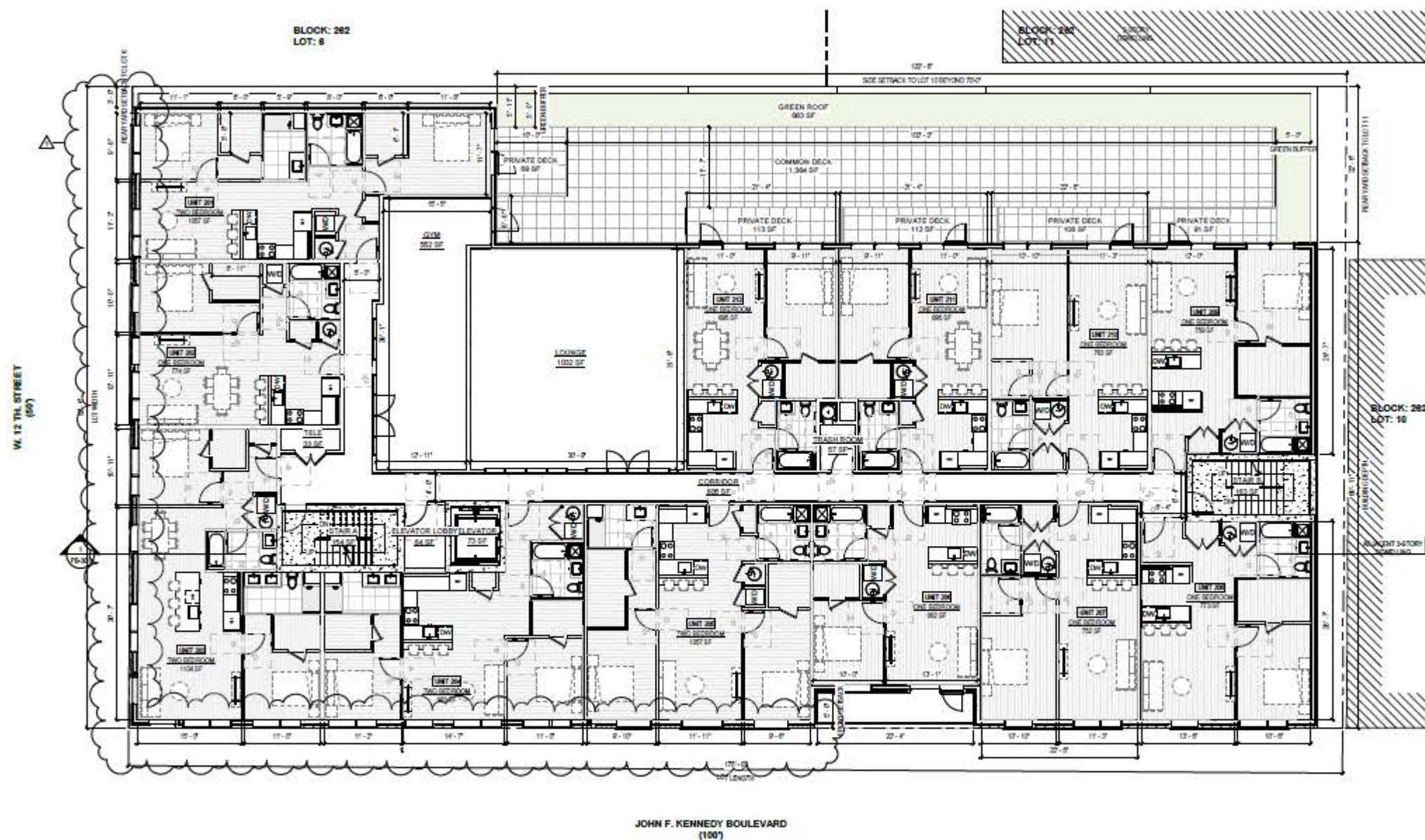
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SECOND FLOOR PLAN

PB-102.01

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1 SECOND FLOOR PLAN
1/8" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101735200

Nicole Robertson, AIA
NJ License # 21A101651100

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BAYONNE, NJ 07002
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MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS		
NO.	DATE	DESCRIPTION
1	06/17/25	RESPOND TO PLANNER REVIEW COMMENTS

NOT FOR CONSTRUCTION

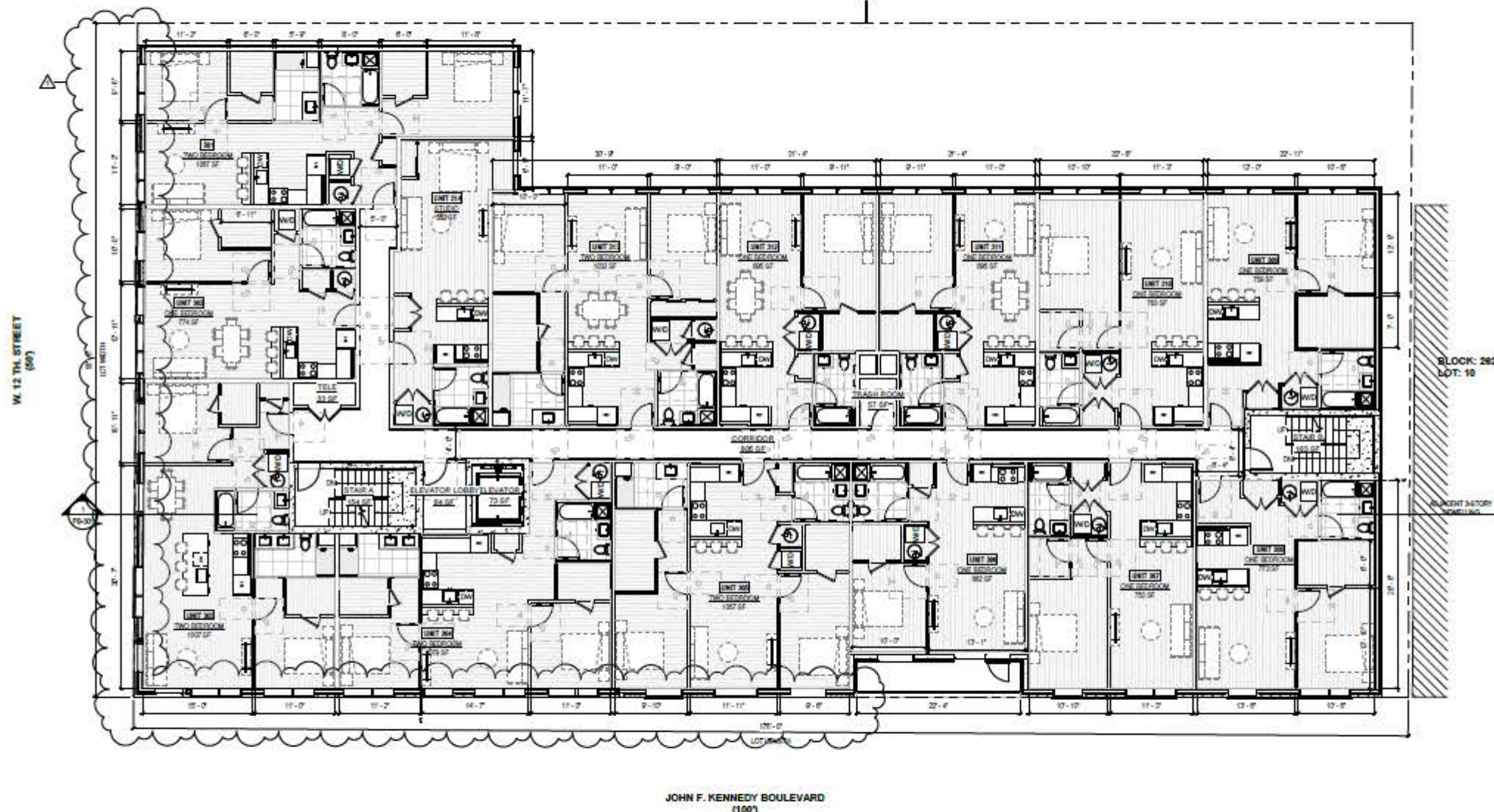
PROJECT LOCATION	DESIGNED BY Author
DATE: 06/17/25 RG NR	CHECKED BY NR RG
SHEET NAME THIRD & FOURTH FLOOR PLAN	
DRAWN BY PB	DATE 10/1/24

PB-103.01

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BLOCK: 252
LOT: 8

BLOCK: 252
LOT: 11



1 THIRD FLOOR PLAN
1/8" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID1735200

Nicole Robertson, AIA
NJ License # 21AID1651100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD.
BAYONNE, NJ 07002
BLOCK: 262 LOT: 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS APPROVED:

PROJECT: 17 JUNE 2026

REVISIONS

NO.	DATE	DESCRIPTION
1	06/17/26	RESPOND TO PLANNER REVIEW COMMENTS

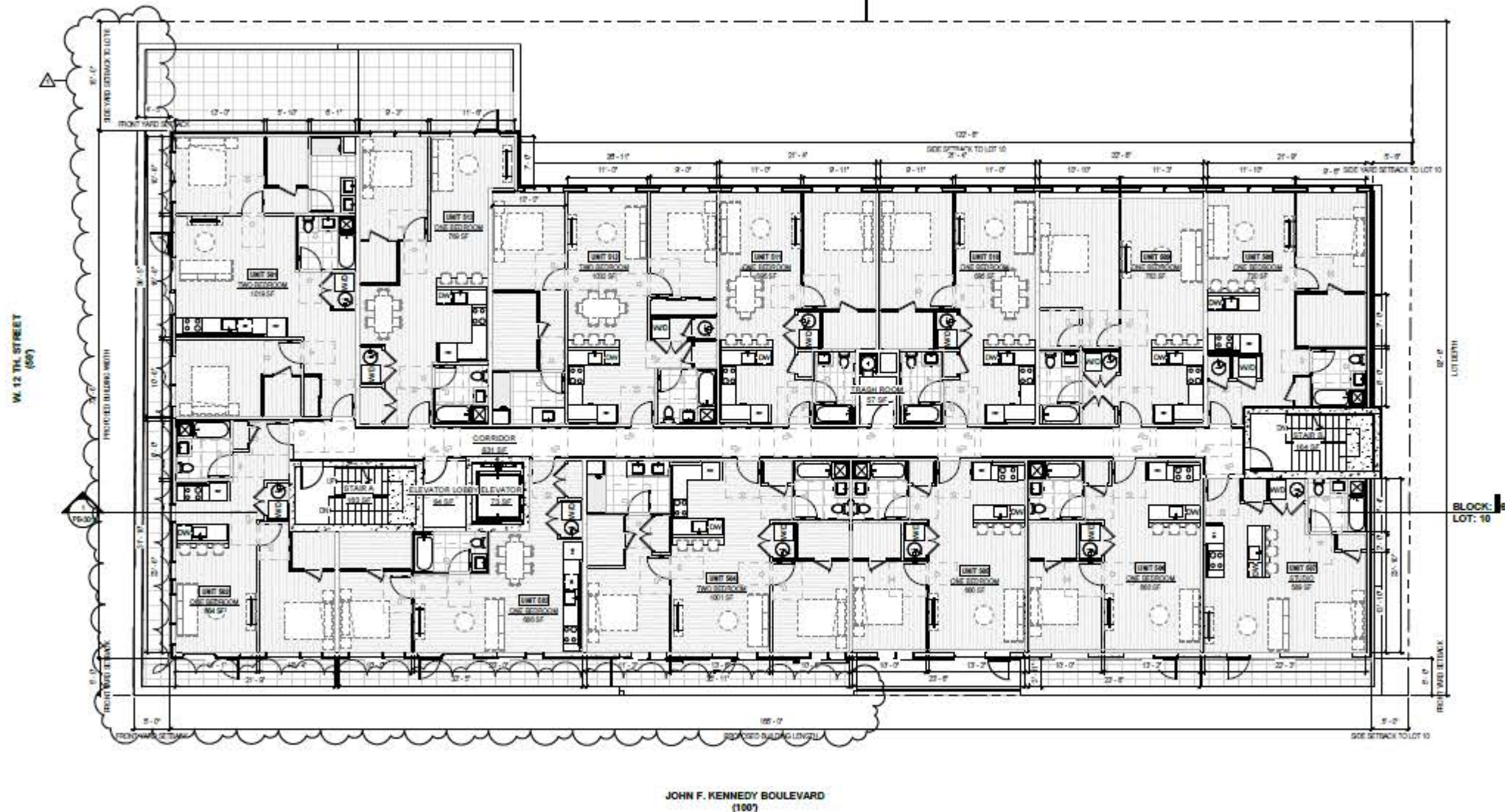
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PROJECT: 17 JUNE 2026
DESIGNER: BR
RD: NR
CHECKER: BR
NR: RG
FIFTH FLOOR PLAN

PB-104.01

BLOCK: 262
LOT: 8

BLOCK: 262
LOT: 11



① FIFTH FLOOR PLAN
1/8" = 1'-0"





GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101735200

Nicole Robertson, AIA
NJ License # 21A101651100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK: 262 LOT: 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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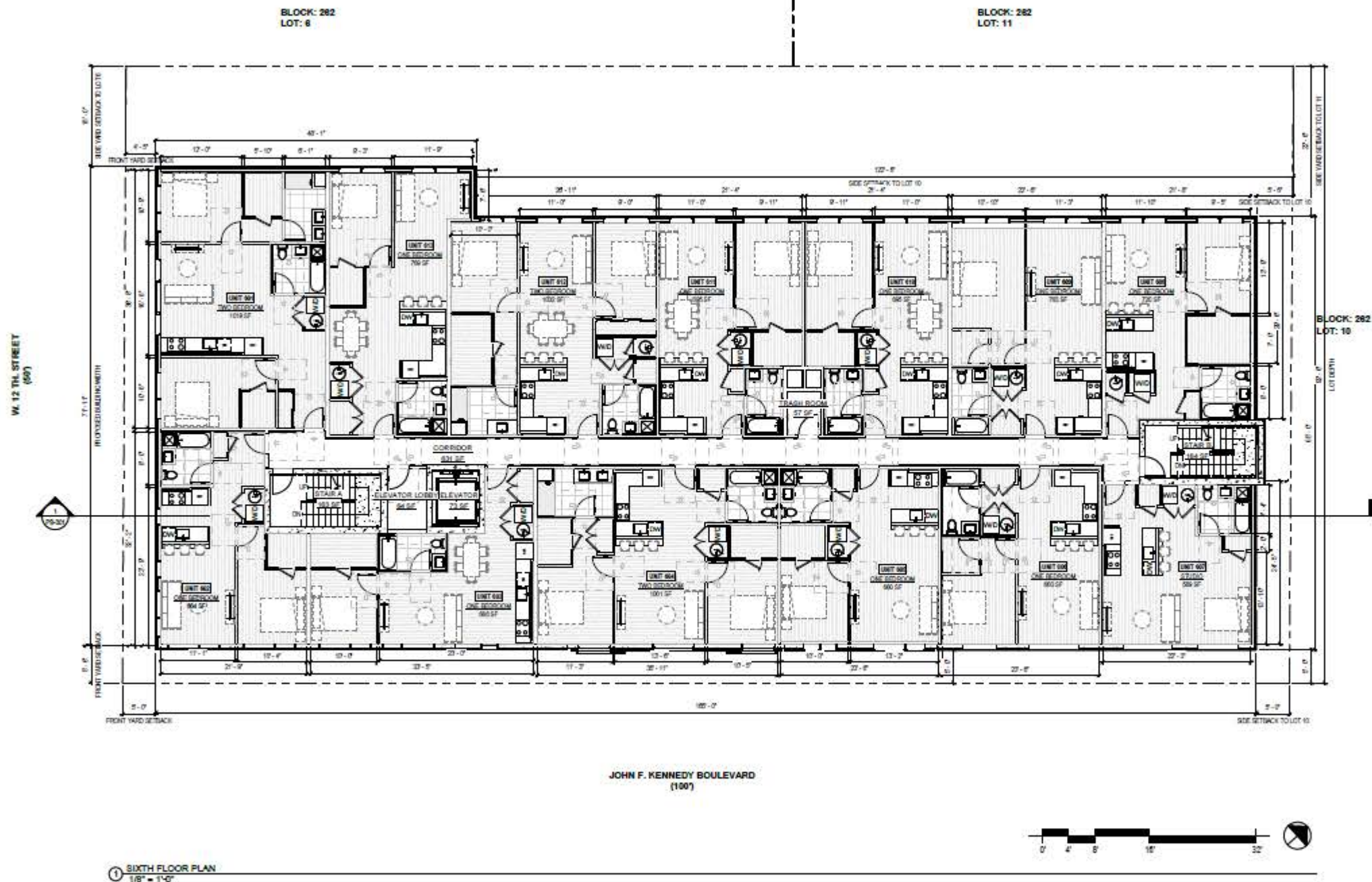
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REVISIONS		
NO. DATE DESCRIPTION		

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PROJECT LOCATION	DATE: 17 JUNE 2026
DRAWN BY: RG NR	CHECKED BY: NR RG
SIXTH FLOOR PLAN	
PROJECT NO: PB-105	PAGE NO: 1

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① SIXTH FLOOR PLAN
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MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK:262 LOT:7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

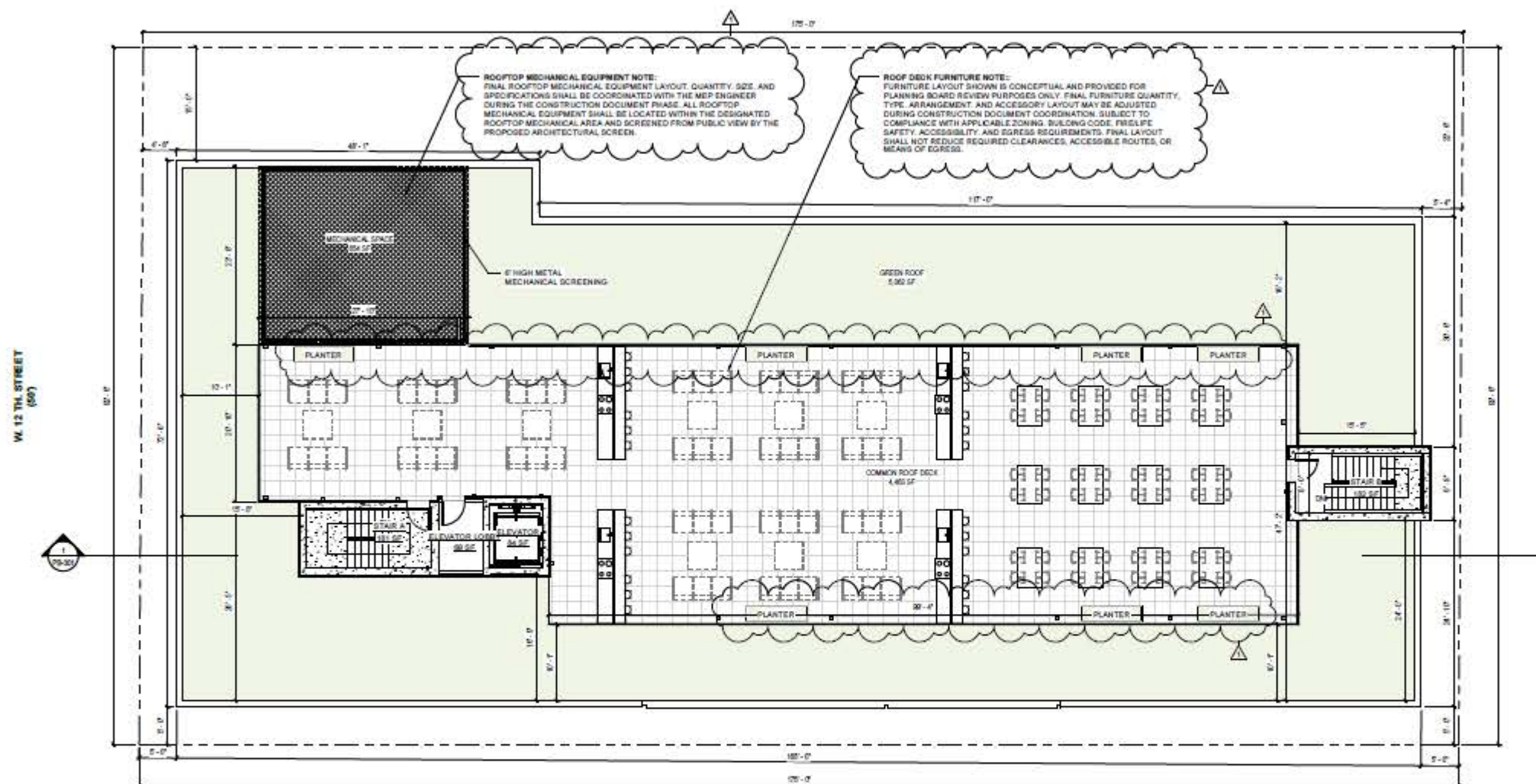
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DEVELOPMENT ATTACHED		
PROJECT DESCRIPTION		
PREPARED: 17 JUNE 2020		
Reviewed		
NO.	DATE	DESCRIPTION
1	06/17/20	RESPOND TO PLANNER REVIEW COMMENTS

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PROJECT NUMBER	DRAWING NO.
DESCRIPTION	AUTHOR
DATE	CHECKED BY
REVISIONS	NO. OF SHEETS
TITLE	
PB-106.01	



JOHN F. KENNEDY BOULEVARD
(100)



① ROOF DECK
1/8" = 1'-0"

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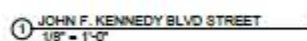
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MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK:362 LOT:7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
oey@oea-corp.com

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HARDIE BOARD

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[H01] PRODUCT: HARDIE PANEL SIDINGS MANUFACTURER: JAMES HARDIE COLOR: ARCTIC WHITE TEXTURE: SMOOTH
	[H02] PRODUCT: HARDIE PANEL SIDINGS MANUFACTURER: JAMES HARDIE COLOR: GRAY SLATE TEXTURE: SMOOTH

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[B.D1] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: MIDWAY

	[B.09] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY RECESSED
--	--

STUCCO	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[ST 01] PRODUCT: STUCCO MANUFACTURED: STO COLOR: PEARL GREY FINISH: FINE

GLASS CURTAIN WALL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	PRODUCT: 100% WALL SYSTEM MANUFACTURER: KAWNEER OR APPROVED EQ

NOT FOR CONSTRUCTION

PROJECT NUMBER	Drawn By Author
Drawn By RG MR	Checked By NR RG
SHEET TITLE: JOHN F. KENNEDY BLVD STREET ELEVATION	
SHEET NO.:	PAGE NO.:
PB-201.01	

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1 WEST 12TH STREET
1/8" = 1'-0"

MATERIAL LEGEND	
HARDIE BOARD	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[H.01] PRODUCT: HARDIE PANEL SIDINGS MANUFACTURER: JAMES HARDIE COLOR: ARCTIC WHITE TEXTURE: SMOOTH
	[H.02] PRODUCT: HARDIE PANEL SIDINGS MANUFACTURER: JAMES HARDIE COLOR: GRAY SLATE TEXTURE: SMOOTH

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[B.01] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY TEXTURE: SMOOTH

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[B.02] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY TEXTURE: SMOOTH

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[M.01] PRODUCT: METAL FRAME MANUFACTURER: ALUCOBOND COLOR: TRI CORN BLACK

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	PRODUCT: ALUMINUM CLAD WOOD CASEMENT PICTURE WINDOW MANUFACTURER: PELLA OR APPROVED EQ FRAME COLOR: BLACK

GLASS HANDRAIL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	COLOR: PAINTED TO MATCH WINDOW FRAME

GRO

GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101735200

Nicole Robertson, AIA
NJ License # 21A101551100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 262 LOT: 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS		
NO.	DATE	DESCRIPTION
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Project Number: 17 JUNE 2020

Author: RG MR

Checker: RG MR

West 12th Street Elevation

PB-202.01



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.345.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID1795200
Nicole Robertson, AIA
NJ License # 21AID1551100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 252 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS

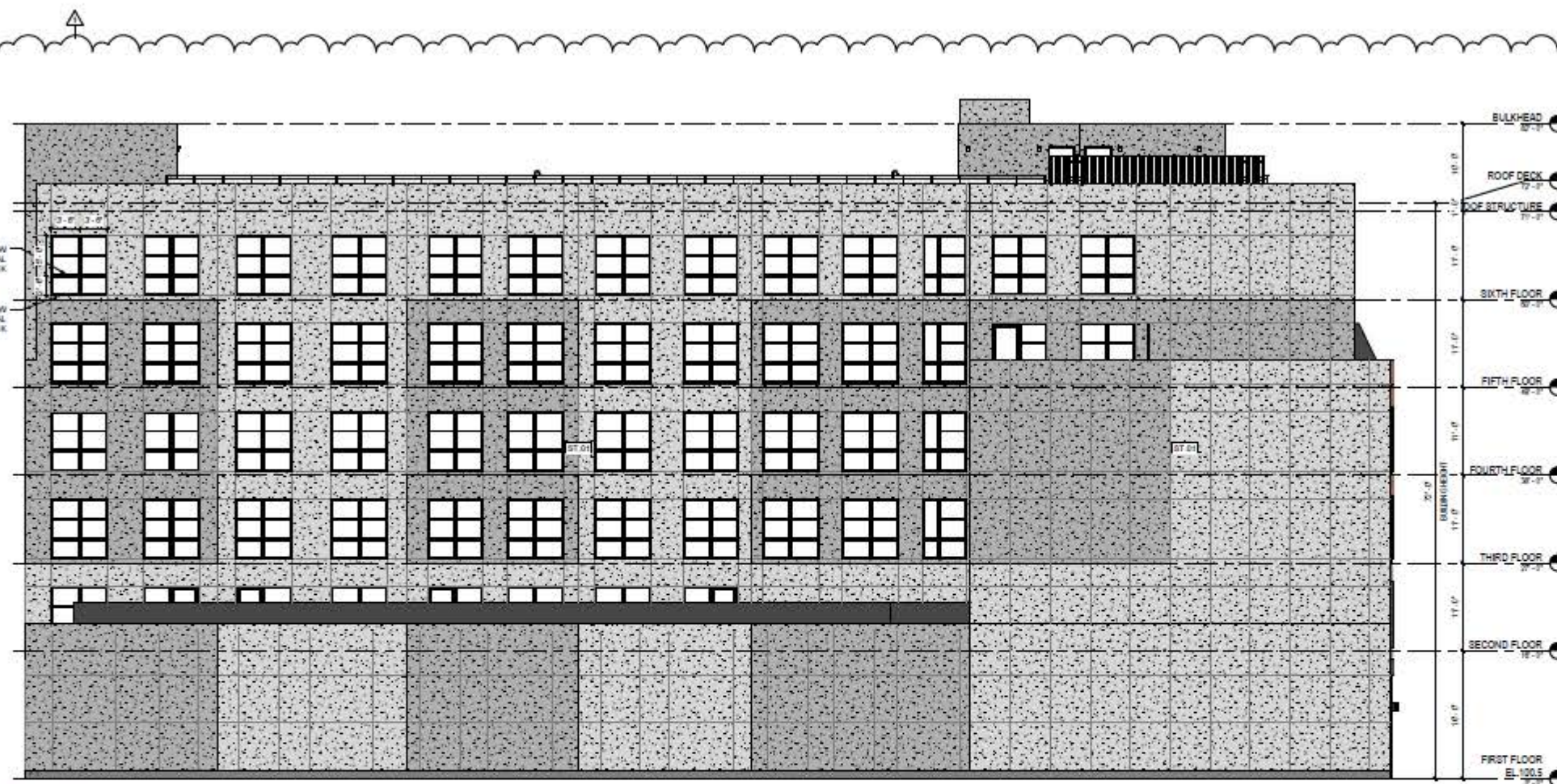
NO.	DATE	DESCRIPTION
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DESIGNED BY: RD RD
CHECKED BY: NR RD

REAR ELEVATION

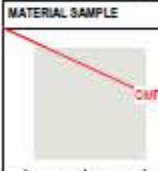
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REAR ELEVATION
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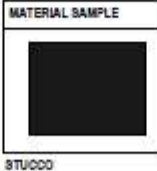
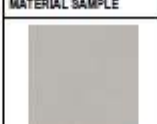
HARDBOARD

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[H.01] PRODUCT: HARDBOARD PANEL SOUNDING MANUFACTURER: JAMES HARDIE COLOR: ARCTIC WHITE TEXTURE: SMOOTH
	[H.02] PRODUCT: HARDBOARD PANEL SOUNDING MANUFACTURER: JAMES HARDIE COLOR: GRAY SLATE TEXTURE: SMOOTH

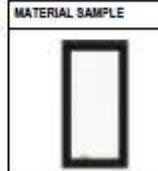
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[B.01] PRODUCT: HARDBOARD PANEL SOUNDING MANUFACTURER: JAMES HARDIE COLOR: COUNTRYMAN RED TEXTURE: SMOOTH
BRICK	
	[B.02] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY WIRECUT

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[B.03] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: ASPEN WIRECUT
	[B.04] PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY WIRECUT

METAL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	[M.01] PRODUCT: METAL FRAME MANUFACTURER: ALUCOROND COLOR: TR CORN BLACK
STUCCO	
	[ST.01] PRODUCT: STUCCO MANUFACTURER: STO COLOR: PEARL GRAY FINISH: FINE

WINDOW

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	PRODUCT: ALUMINUM CLAD WOOD CASSETTE PICTURE WINDOW MANUFACTURER: PELLA OR APPROVED EQ. FRAME COLOR: BLACK
	PRODUCT: ALUMINUM CLAD WOOD PATIO DOOR MANUFACTURER: PELLA OR APPROVED EQ. FRAME COLOR: BLACK

GLASS HANDRAIL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	COLOR: PAINTED TO MATCH WINDOW FRAME
GLASS CURTAIN WALL	
	PRODUCT: WIR WALL SYSTEM MANUFACTURER: KAMBER OR APPROVED EQ.



GRO Architects PLLC
125 Maiden Lane Suite 160
New York, New York 10038
T 212.346.0705
F 646.357.9730
E nicole@groarc.com
W www.groarc.com

Richard Garber, AIA
NJ License # 21AID1735200
Nicole Robertson, AIA
NJ License # 21AID1651100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 262 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
E: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

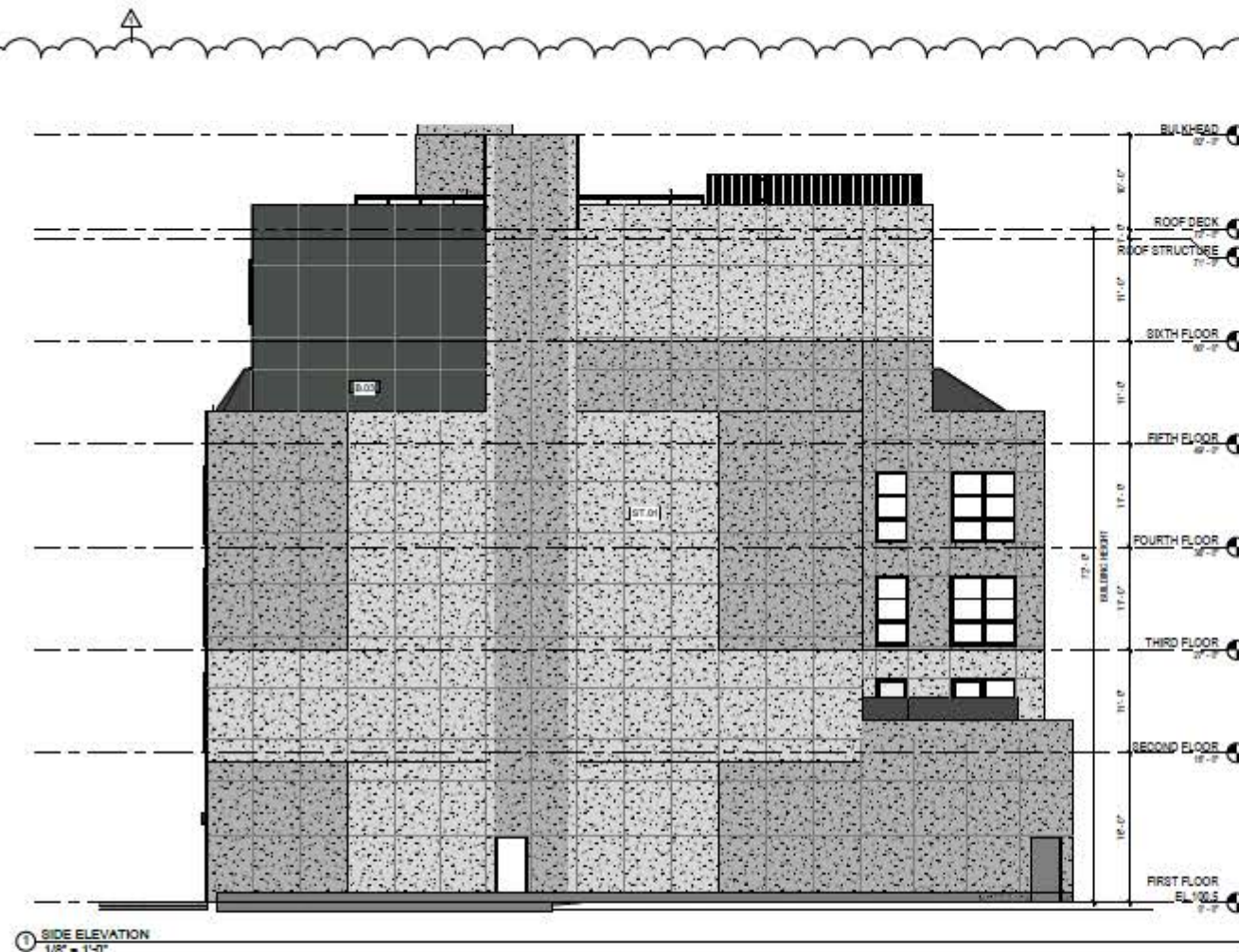
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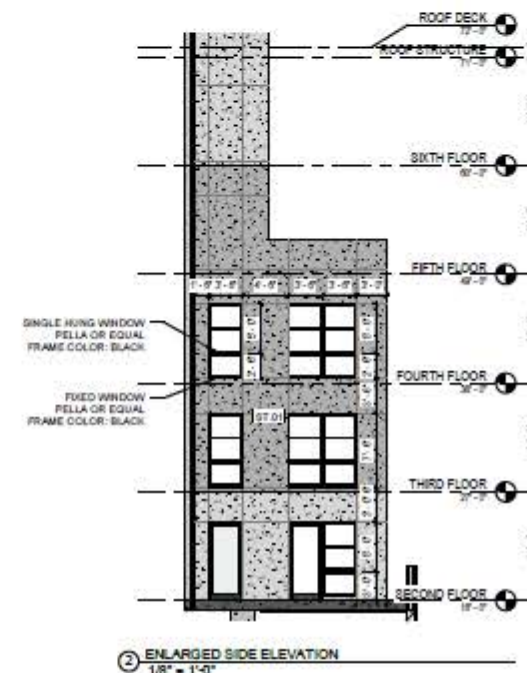
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NO.	DATE	DESCRIPTION
1	06/17/25	RESPOND TO PLANNER REVIEW COMMENTS

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PROJECT: 204.01
SHEET: 204.01
PAGE: 1001



1 SIDE ELEVATION
1/8" = 1'-0"



2 ENLARGED SIDE ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

HARDIE BOARD

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[H.01]	PRODUCT: HARDIE PANEL SIDING MANUFACTURER: JAMES HARDIE COLOR: ARCTIC WHITE TEXTURE: SMOOTH
[H.02]	PRODUCT: HARDIE PANEL SIDING MANUFACTURER: JAMES HARDIE COLOR: GRAY SLATE TEXTURE: SMOOTH

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[H.03]	PRODUCT: HARDIE PANEL SIDING MANUFACTURER: JAMES HARDIE COLOR: COUNTRYBANE RED TEXTURE: SMOOTH
BRICK	
[B.01]	PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: MOHAWK

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[B.02]	PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: ASPEN WHEAT
[B.03]	PRODUCT: FACE BRICK MANUFACTURER: GLEN GERY COLOR: FRENCH GRAY WHEAT

METAL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[M.01]	PRODUCT: METAL FRAME MANUFACTURER: ALUCOBOND COLOR: TRICOIN BLACK
STUCCO	
[ST.01]	PRODUCT: STUCCO MANUFACTURER: STO COLOR: PEARL GREY FINISH: FINE

WINDOW

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[W.01]	PRODUCT: ALUMINUM CLAD WOOD CASEMENT PICTURE WINDOW MANUFACTURER: PELLA OR APPROVED EQ. FRAME COLOR: BLACK
[W.02]	PRODUCT: ALUMINUM CLAD WOOD PATIO DOOR MANUFACTURER: PELLA OR APPROVED EQ. FRAME COLOR: BLACK

GLASS HANDRAIL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
[G.H.01]	COLOR: PAINTED TO MATCH WINDOW FRAME
GLASS CURTAIN WALL	
[G.C.01]	PRODUCT: MIB WALL SYSTEM MANUFACTURER: KAWNEER OR APPROVED EQ.



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101735
Nicole Robertson, AIA
NJ License # 21A101551100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
351-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 362 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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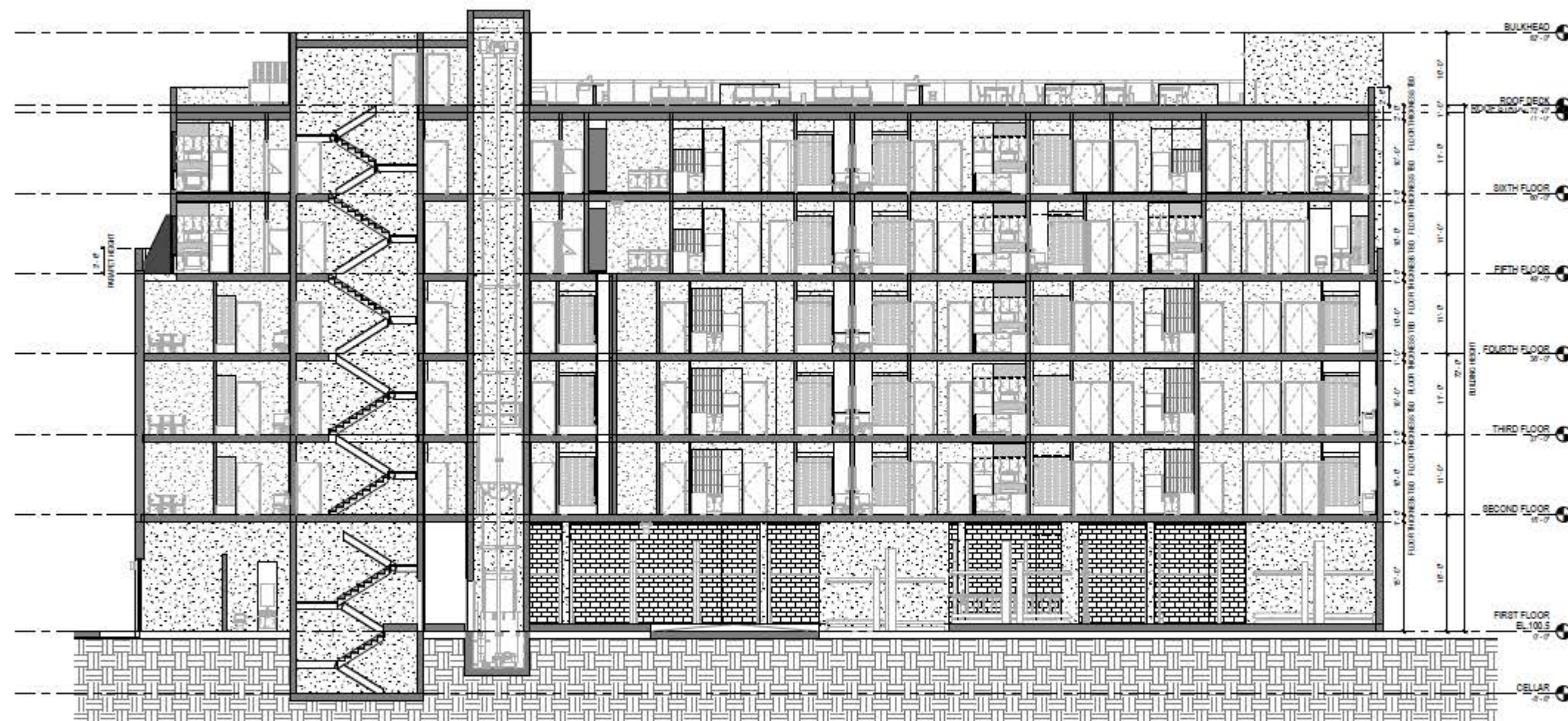
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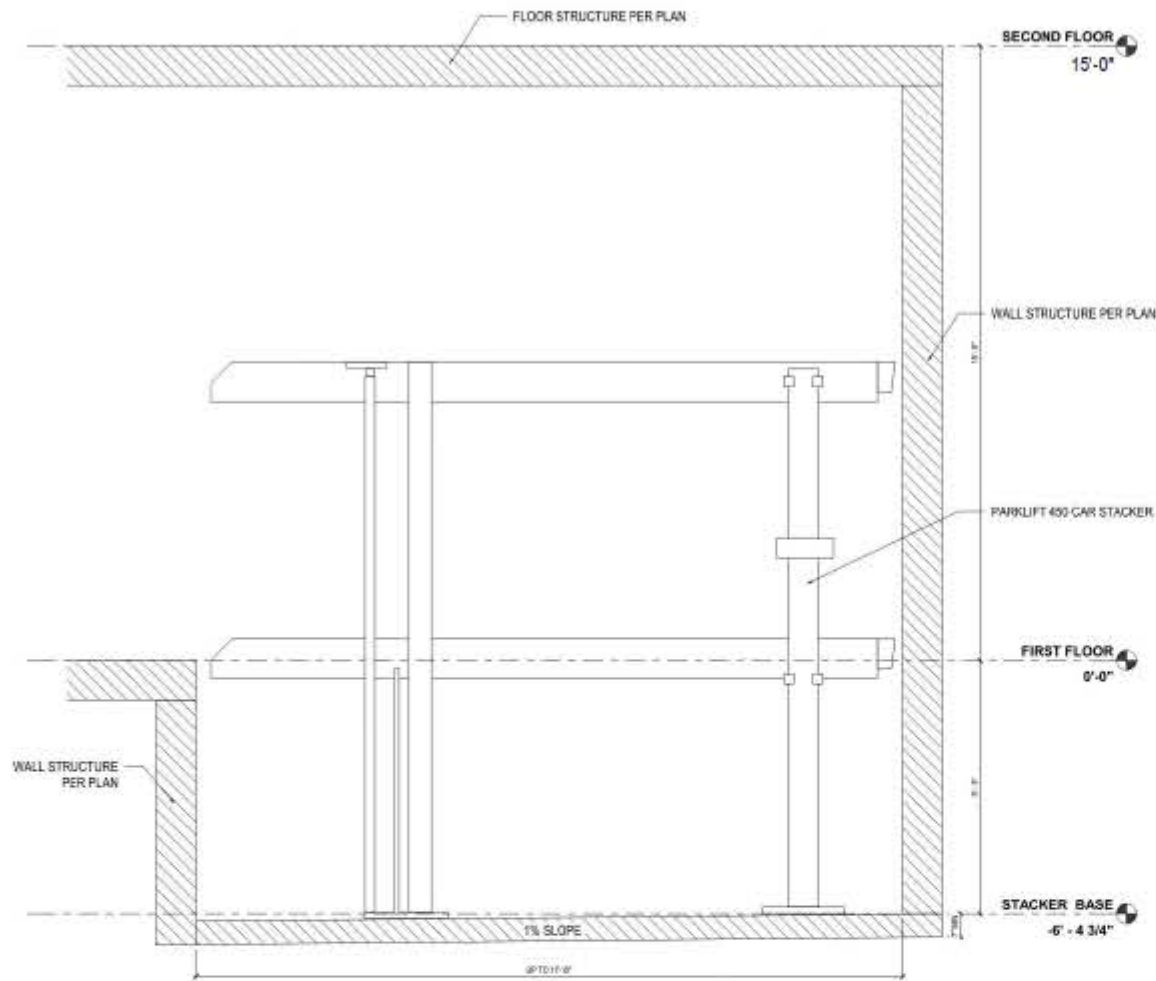
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PROJECT NUMBER: 21A101735
DESIGNED BY: RG NR
CHECKED BY: NR RG
SECTION 01
PAGE 301

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1 BUILDING SECTION 01
1/8" = 1'-0"



① TYPICAL STACKER DETAILS
1/2" = 1'-0"



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21A101795200

Nicole Robertson, AIA
NJ License # 21A101551100

NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK:252 LOT:7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ, 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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REVISIONS		
NO.	DATE	DESCRIPTION

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DESIGNED BY: [Signature]
AUTHOR: [Signature]

CHECKED BY: [Signature]
REVIEWED BY: [Signature]

ENLARGED DETAILS

PB-400



GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.345.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com

Richard Garber, AIA
NJ License # 21AID1735200
Nicole Robertson, AIA
NJ License # 21AID1551100

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MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK 262 LOT 7, 8 & 9

MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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DOCUMENT APPROVALS

PROJECT SUBMITTALS

PREPARED: 17 JUNE 2020

REVISIONS

NO.	DATE	DESCRIPTION
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PROJECT NUMBER: 0000000000
Author: 0000000000

Drawn by: 0000000000
RG NR: NR RG

Sheet Title:
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SHEET NO:

PAGE NO:

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GRO Architects PLLC
125 Maiden Lane Suite 150
New York, New York 10038
t 212.346.0705
f 646.357.9730
e nicole@groarc.com
w www.groarc.com



Richard Garber, AIA
NJ License # 21A101735200
Nicole Robertson, AIA
NJ License # 21A101651100

PROJECT:
NEW CONSTRUCTION
MULTIFAMILY RESIDENTIAL
361-373 JOHN F. KENNEDY BLVD
BAYONNE, NJ 07002
BLOCK:262 LOT:7, 8 & 9

OWNER:
MYK BUILDERS
701 AVENUE E, #2
BAYONNE, NJ 07002
e: MYKBUILDERSLLC@GMAIL.COM

CONSULTANT:
CIVIL ENGINEER
OPTIMIZED ENGINEERING
ASSOCIATES
UNION CITY, NJ 07087
201-430-9173
guy@oea-corp.com

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BY: NR RG

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SHEET NO.: PB-902.01

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