

CITY OF BAYONNE
SITE PLAN REFERRAL
AND
REQUEST FOR RECOMMENDATION

Exhibit - A-17
161 BROADWAY, LLC
Z-23-004
(10/16/2023 - akl)

Joseph Benkert
Building Construction Official

Date September 7, 2023
Application number: Z-23-004

Joseph Coughlin
Fire Sub-Code Official

Applicant Name: 161 BROADWAY, LLC

Joseph Ryan
Historic Preservation Commission

Site address: 161 Broadway
Block 330, Lot 12

Robert Zawistowski
Bayonne Environmental Commission

Joseph Skillender
Director of Planning, Zoning and Development

Robert Russo, P.E.
City Engineer

James Clavelli, AICP, PIT
Consulting City Planner

Attorney for Applicant: Christopher Vitale, Esq.

Planning Board

Zoning Board of Adjustment

ALL EXHIBITS WILL BE SENT TO YOU ELECTRONICALLY.

The Board has placed the matter on the agenda for the meeting of October 16, 2023
Please provide your comment by: September 21, 2023

COMMENTS: (Use separate sheet if necessary)

EASEMENT IS REQUIRED FOR EXIT ACCESS
FROM REAR OF 161 BROADWAY ON TO
11 WEST STY LEADING TO THE PUBLIC
RIGHT OF WAY.
ENCLOSED IS A LETTER FROM ATTORNEY

Dated: 9/14/2023

Signed: JRB
Agency: Building Dept

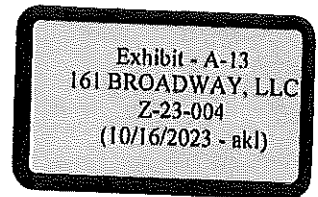


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(w/ A-17)

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August 11, 2023

Alicia K. Losonczy
Planning / Zoning Board of Adjustment Administrator
City of Bayonne - Division of Planning and Zoning
630 Avenue C (Room 13)
Bayonne, NJ 07002

**Re: Z-23-004 / 161 Broadway LLC
161 Broadway, Bayonne, New Jersey 07002**

Dear Ms. Losonczy:

As you are aware, our firm represents 161 Broadway LLC, the Applicant in the above-referenced Zoning Board of Adjustment Application.

In that capacity, and as an update regarding the matter of rear access to the subject property, please note that my client has now acquired title to the property located at 11 West 5th Street, Bayonne, New Jersey. Accordingly, he now owns the lot directly to the rear of the subject property, which includes driveway access directly to West 5th Street. I have enclosed herewith a copy of the deed confirming ownership of the new lot, as well several photographs of the new lot and the rear of the subject property to demonstrate that the lots are contiguous and there is direct driveway access to West 5th Street. My client is willing to allow access over the new lot (and record an easement, if necessary) so that residents of the proposed building will have direct access to West 5th Street from the rear of the building.

In view of the above, I believe the issue of rear access to the subject property has been resolved. If, however, you have further questions regarding this matter, please feel free to contact me.

Very truly yours,

Christopher D. Vitale

Christopher D. Vitale

Enc.