

PRELIMINARY AND FINAL SITE PLAN PENINSULA VIEW

75 - 87 EAST 31ST STREET
BAYONNE, NEW JERSEY
07002



1 3D VIEW LOOKING FROM SOUTH COVE COMMONS
SCALE: NOT TO SCALE

ZONING INFORMATION			
REQUIREMENT	REQUIRED/PERMITTED	PROPOSED	COMPLIANCE
MINIMUM LOT AREA	30,000 SF	44,833 SF	YES
MINIMUM LOT FRONTAGE	EAST 31ST STREET: 150' ROUTE 440: 150' PROSPECT AVENUE: NONE EAST 32ND STREET: NONE	EAST 31ST STREET: 150' ROUTE 440: 150' PROSPECT AVENUE: NONE EAST 32ND STREET: NONE	YES
MINIMUM LOT WIDTH/LOT DEPTH	NONE	NONE	YES
MAXIMUM FLOOR AREA RATIO	5	4.26	YES
MAXIMUM BUILDING COVERAGE	90% (EXCLUDING PLAZAS/OPEN SPACES)	59%	YES
MAXIMUM BUILDING HEIGHT	90 FEET/8 STORIES	90 FEET/8 STORIES	YES
FRONT YARD SETBACK	0' MINIMUM	0'	YES
SIDE YARD SETBACK	3' MINIMUM	3'	YES
REAR YARD SETBACK	10' MINIMUM	10'	YES
MAXIMUM RESIDENTIAL DENSITY	160 DWELLING UNITS/ACRE	165 DWELLING UNITS	YES
RESIDENTIAL PARKING SPACES	0.9 SPACE / UNIT	188	YES
BIKE PARKING SPACES	0.5 SPACE / UNIT	83	YES
MAXIMUM COMPACT	35%	0	YES

SITE PLAN AND SURVEY DATA	
SITE PLAN DATA IS TAKEN FROM BAYONNE, HUDSON COUNTY TAX MAPS AND SANBORN MAPS AND FROM A SITE SURVEY DATED 10/17/2025 PREPARED BY:	
STONEFIELD ENGINEERING & DESIGN 92 PARK AVENUE RUTHERFORD, NEW JERSEY 07070	

DRAWING LIST	
C01	COVER SHEET
A01	CELLAR FLOOR PLAN
A02	PARKING LEVEL 2 FLOOR PLAN
A03	GROUND FLOOR PLAN
A03M	MEZZANINE FLOOR PLAN
A04	2ND FLOOR PLAN
A05	3RD - 8TH FLOOR PLAN
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A08	EAST & WEST BUILDING ELEVATIONS
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A10	ENLARGED BUILDING ELEVATIONS
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A12	SITE DETAILS

PROJECT DATA	
BLOCK NUMBER	411
LOT NUMBERS	2-5, 7-8, 11
ZONING DISTRICT	PENINSULA VIEW
LOT AREA	44,833 SF
BUILDING FOOTPRINT	26,042 SF
TOTAL BUILDING GSF	252,599 SF
RETAIL GSF	N/A
DWELLING UNITS	165
PARKING SPACES	188

PLANNING BOARD APPROVAL

PRELIMINARY AND FINAL SITE PLAN APPROVAL IS HEREBY GRANTED TO THIS SITE PLAN BY THE PLANNING BOARD OF THE CITY OF BAYONNE, NEW JERSEY, THIS DAY OF _____, 2025.

BOARD CHAIRMAN

BOARD SECRETARY

BOARD PLANNER

BOARD ENGINEER

MHS ARCHITECTURE

Dean Marchetto, FAIA, PP
NJ C07945
Michael Higgins, AIA, LEED
NJ21A10130830
Bruce A Stieve, AIA
NJ21A10137710
Michael Buldo, AIA
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NY 035161
Vincent Marchetto, AIA
NJ21A102161600

1422 Grand Street
Suite 5b
Hoboken, NJ 07030
T 201-795-1505
MHSarchitecture.com

STATE OF NEW JERSEY
MICHAEL J. HIGGINS
13083
LICENSED REGISTERED ARCHITECT



2 SITE MAP
SCALE: 1" = 100'-0"

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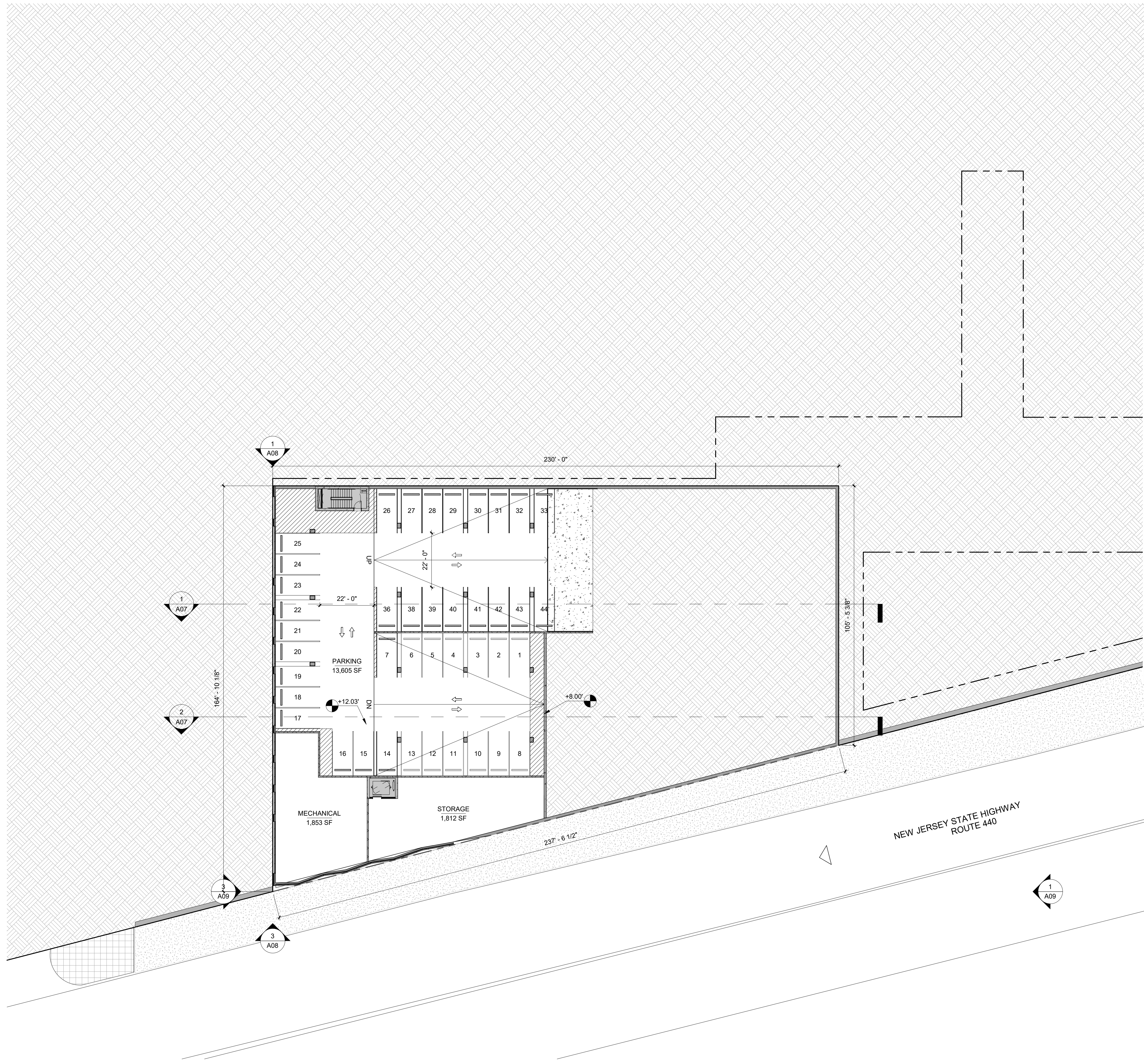
PREPARED FOR:
PENINSULA VIEW URBAN RENEWAL, LLC
85 EAST 2ND STREET P.O. BOX 1009
BAYONNE, NJ 07002

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#	DATE:	FOR:
01	06/18/25	TRC SUBMISSION
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COVER SHEET

PROJECT NUMBER:	2520
SCALE:	As indicated
DRAWN BY:	AE
CHECKED BY:	VM

C01



1 CELLAR FLOOR PLAN
SCALE: 1" = 20'-0"

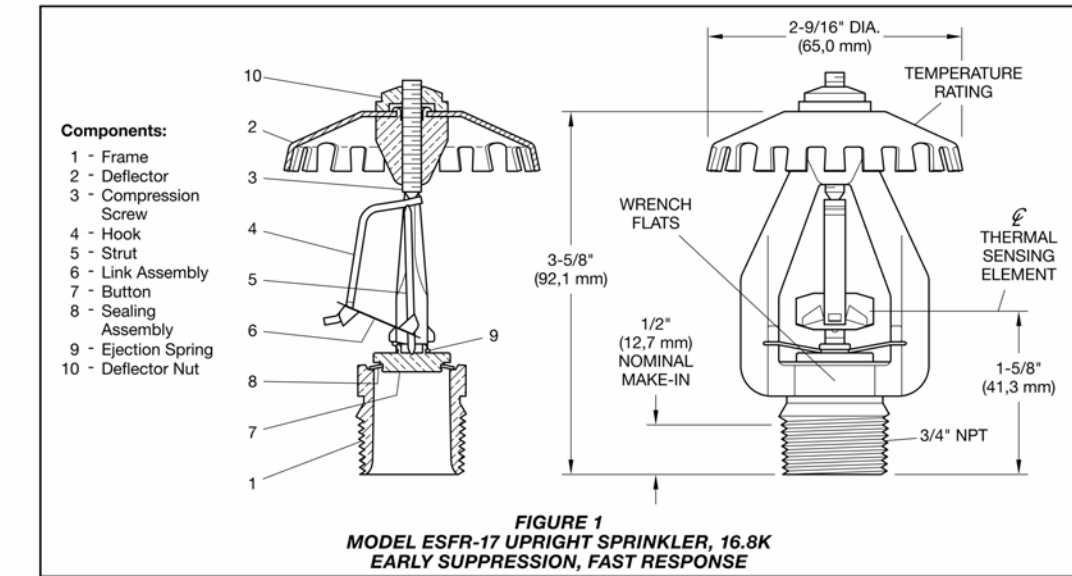
PARKING CALCULATIONS

0.9 SPACES PER UNIT	
# OF UNITS	165
REQUIRED SPACES	148.5
RESIDENTIAL PARKING	
TYPE	NUMBER OF SPACES
ACCESSIBLE PARKING SPACE	3
COMPACT PARKING SPACE	1
ELECTRIC VEHICLE PARKING SPACE	32
REGULAR PARKING SPACE	151
VAN ACCESSIBLE PARKING SPACE	1
TOTAL	188
TOTAL PROVIDED SPACES	188

GENERAL NOTES

- ALL WORK DESCRIBED SHALL CONFORM TO AND BE CONSTRUCTED UNDER THE PROVISIONS OF THE IBC CODE, LATEST EDITION, AS WELL AS ALL REQUIREMENTS OF THE CITY OF BAYONNE, NJ.
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- ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED TO BE REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATIONS AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF CONSTRUCTION.
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TFP316
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Design Criteria

The following general guidelines provided for the TYKCO Model ESFR-17 Upright Sprinklers may be used for quick reference. The National Fire Protection Association (NFPA) and FM Global (FM) Approvals provide installation standards that must be used to properly design an automatic sprinkler system utilizing Early Suppression, Fast Response (ESFR) Sprinklers. The guidelines provided by NFPA and FM Global may differ; consequently, the appropriate standard must be used for a given installation.

Item	Description
Sprinkler Identification Number (SIN)	TYK726
K-factor, gpm/(psi) ^{0.5} (Lpm/(bar) ^{0.5})	16.8 gpm/(psi) ^{0.5} (241.9 Lpm/(bar) ^{0.5})
Temperature Rating °F (°C)	160°F (70°C) 212°F (100°C)
Thread Size	3/4 in. NPT or ISO 7-R 3/4
Sprinkler Orientation	Upright
Maximum Working Pressure, psi (bar)	175 psi (12.1 bar)

TABLE A
MODEL ESFR-17 UPRIGHT SPRINKLER TECHNICAL DATA

Ceiling Slope: Maximum 2 in. rise for 12 in. run (16.7%)
Maximum Coverage Area: 100 ft² (9.3 m²)
Minimum Coverage Area: 64 ft² (5.9 m²) per NFPA 13 and FM Global 2-0
Maximum Spacing: 12 ft (3.7 m) for building heights up to 30 ft (9.1 m); 10 ft (3.1 m) for building heights greater than 30 ft (9.1 m)
Minimum Spacing: 8 ft (2.4 m)
Minimum Clearance to Commodity: 36 in. (914 mm)
NFPA 13 Deflector-to-Ceiling Distance: 3 in. to 12 in. (76.2 mm to 304 mm)
FM Global Centerline of Thermal Sensing Element-to-Ceiling Distance: Refer to FM Global 2-0 for Storage Sprinklers
Obstructions below Upright ESFR Sprinklers, Including Branchlines: For the requirements of FM, obstructions below upright ESFR Sprinklers can be ignored as follows:
 • open-web bar joists or trusses having chords no more than 4 in. (102 mm) wide
 • bridging or wind bracing no more than 4 in. (102 mm) wide

3 FIRE SPRINKLER FOR PARKING
SCALE: 3/4" = 1'-0"

BRIDGEHILL CAR FIRE BLANKET
Ideal for spaces with a high concentration of cars, such as parking garages, road tunnels, car ferries, and car repair shops.
 Size Standard: +/- 6 x 8 m | 19.8 x 26 ft.
 Weight Standard: +/- 28 kg | 61.7 lbs.
 Size XL: +/- 7.5 x 10 m | 24.6 x 32.8 ft.
 Weight XL: +/- 42 kg | 92.59 lbs.
 EV-rated fire blanket of pyroxene with polymer silicone coating.
 Short term +/- 1600 C | 2912 F
 Long term +/- 800 C | 1472 F



EV FIRE BLANKETS TO BE LOCATED ADJACENT TO ALL EV CHARGING STATIONS

2 FIRE BLANKETS LEGEND
SCALE: 3/4" = 1'-0"

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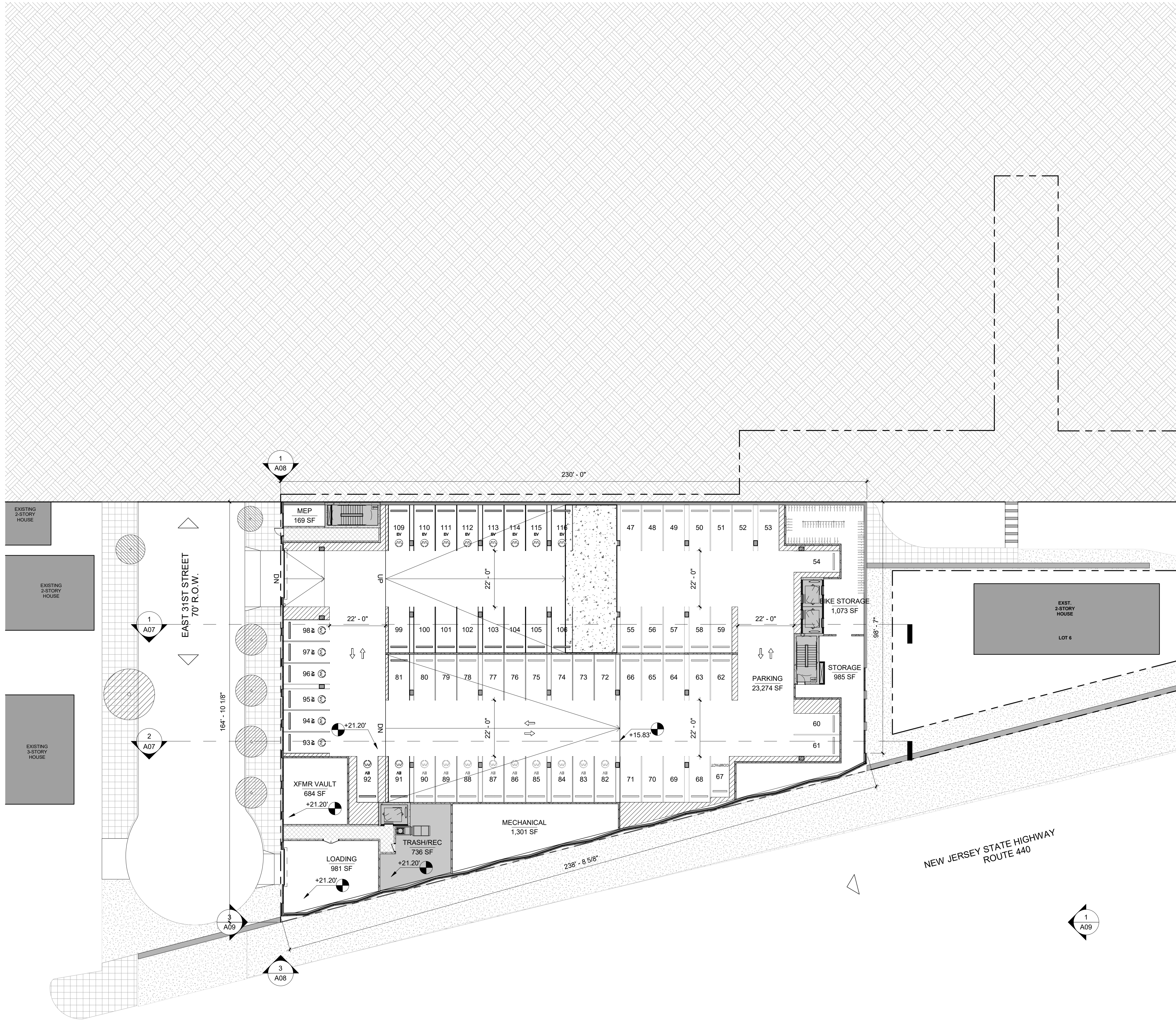
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CELLAR FLOOR PLAN

PROJECT NUMBER: 2520
 SCALE: As indicated
 DRAWN BY: AE
 CHECKED BY: VM

A01



1 PARKING LEVEL 2 FLOOR PLAN
SCALE: 1" = 20'-0"

PARKING CALCULATIONS	
0.9 SPACES PER UNIT	
# OF UNITS	165
REQUIRED SPACES	148.5
RESIDENTIAL PARKING	
TYPE	NUMBER OF SPACES
ACCESSIBLE PARKING SPACE	3
COMPACT PARKING SPACE	1
ELECTRIC VEHICLE PARKING SPACE	32
REGULAR PARKING SPACE	151
VAN ACCESSIBLE PARKING SPACE	1
TOTAL	188
BIKE STORAGE CALCULATIONS	
RESIDENTIAL	
0.5 BIKE SPACES PER UNIT	
# OF UNITS	165
REQUIRED BIKE SPACES	82.5
TOTAL	83

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Ultra Space Saver® Squared Submittal Sheet

CAPACITY: Modular construction 1 bike per arm

MATERIALS: Hanger: 1" square tube with steel slider head with tempered loading bolts
Upright: 2" square tube
Feet: AISC C3 x 43 galvanized steel channel
Crossbeams: 1 1/2" x 1/2" x 40 galvanized pipe

FINISHES: Powder Coat *Paint as provided*
Our powder coat finish ensures a high level of adhesion and durability for indoor use by following these steps:
1. Spray primer electrolessly applied
2. Final thick TGIC polyester powder coat

MOUNT OPTIONS: Floor mount
Ultra Space Saver Squared has steel channel feet (30" for single sided and 50" for double sided units) which must be anchored to the floor.
 Wall mount
Wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.

WHEEL STOPS: Include wheel stops
Optional wheel stops are available for both floor and wall mounted racks for an additional cost.

CANE STOPS: Include cane stops
Optional cane-deterrent stops are available for both floor and wall mounted racks for an additional cost.

As a general guideline, the above space can fit approximately 60 bicycles.
The Ultra Space Saver Squared parks one bike every 60" with a typical bike extending out 42" from the wall.

3 BIKE STORAGE RACK
SCALE: 3/4" = 1'-0"

Specifications

Feature	Description
Power	Up to 19.2 kW per port (up to 80A at 208V/240V)
Connectivity	4G LTE with GSM as backup, Wi-Fi LAN
Authentication	RFID, NFC, remote
Connector	SAE J1772™
ISO 15118 standard	Supported
Meter accuracy	+/- 2% from 2% to full scale
Network communication protocol	OCPP 2.0.1
Electrical safety	Integrated ground fault detection (CGD)
Enclosure rating	NEMA 3R per UL 50E
Operating temperature range	-40°C to 50°C
Certifications	UL

Configuration options

Feature	Description
Number of ports	Dual, single
Mounting options	Pedestal, wall
Cable length	23 ft. (7 m)



2 PEDESTAL EV PARKING
SCALE: 3/4" = 1'-0"

MHS ARCHITECTURE

1422 Grand Street
Suite 5b
Hoboken, NJ 07030
T 201-795-1505
MHSArchitecture.com

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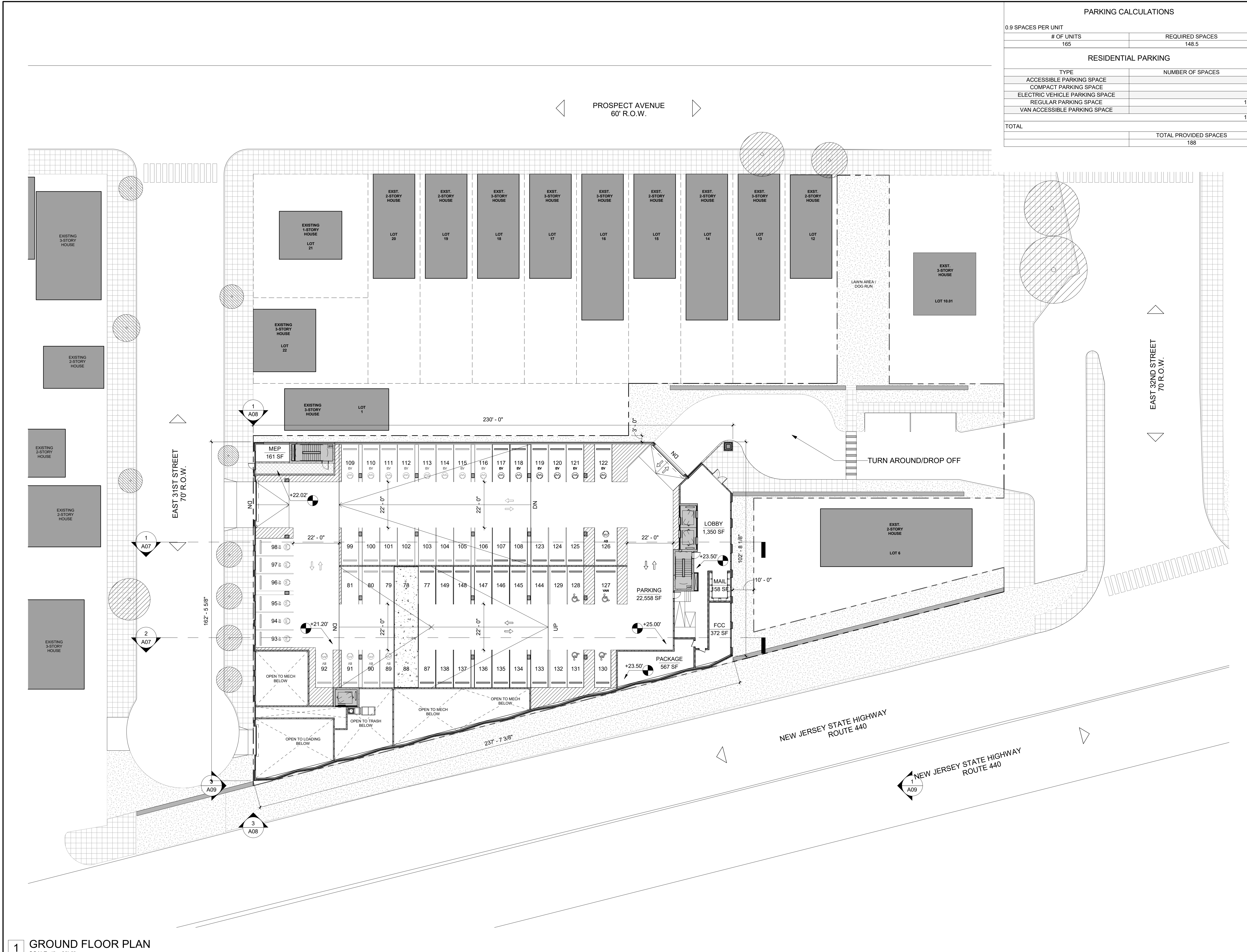
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A02

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Dean Marchetto, FAIA, PP
NJ C07945
Michael Higgins, AIA, LEED
NJ21A10130830
Bruce A Stieve, AIA
NJ21A10137710
Michael Buldo, AIA
NJ21A101786800
NY 035161
Vincent Marchetto, AIA
NJ21A102161600

STATE OF NEW JERSEY
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PARKING CALCULATIONS	
0.9 SPACES PER UNIT	
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T 201-795-1505
MHSarchitecture.com

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NJ C07945
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NJ21A10130830
Bruce A Stieve, AIA
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Michael Buldo, AIA
NJ21A101786800
NY 035161
Vincent Marchetto, AIA
NJ21A102161600

STATE OF NEW JERSEY
MICHAEL J. HIGGINS
13083
LICENSED ARCHITECT
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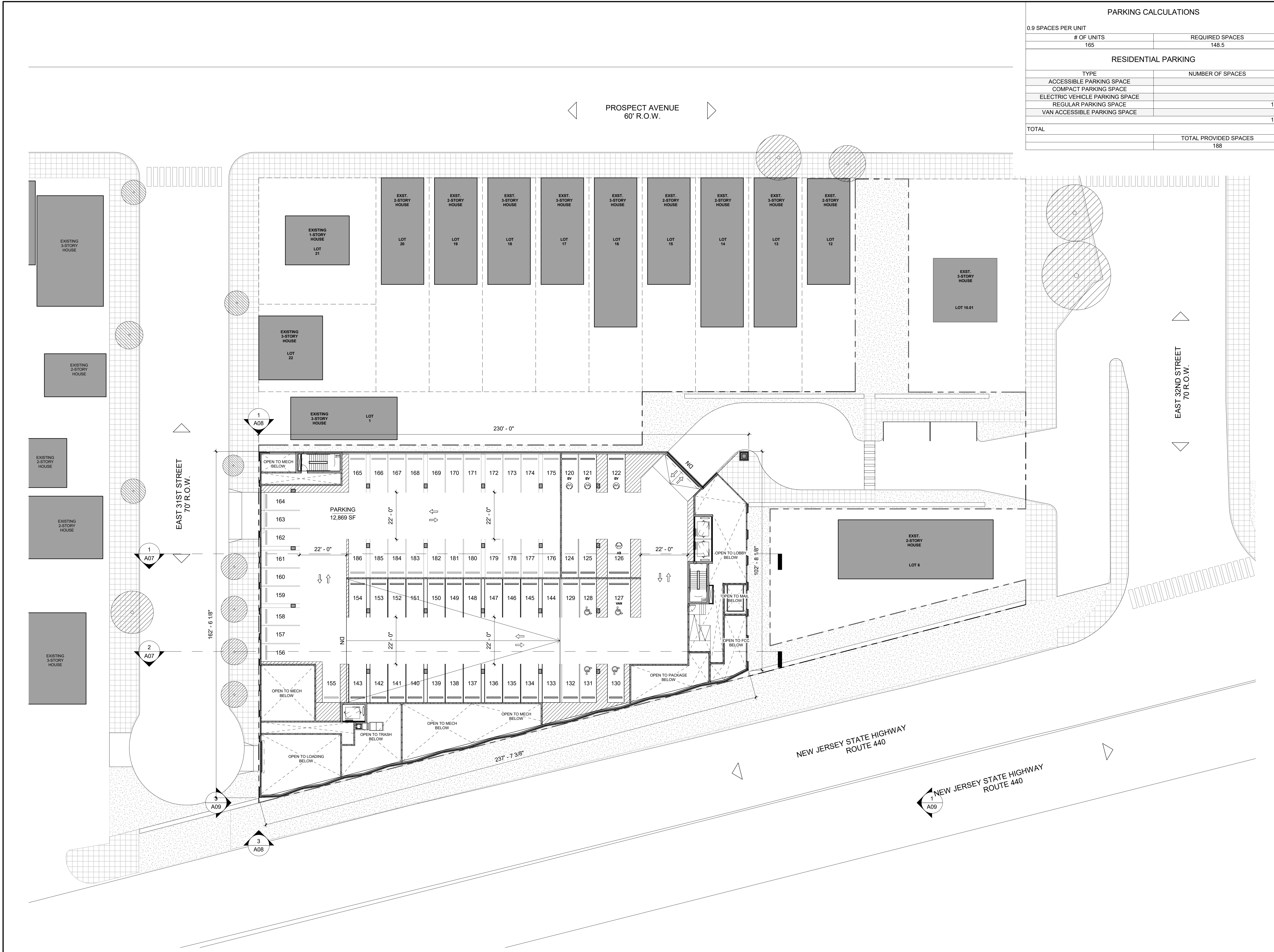
GROUND FLOOR PLAN

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CHECKED BY: VM

A03

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1 GROUND FLOOR PLAN
SCALE: 1" = 20'-0"



PARKING CALCULATIONS	
0.9 SPACES PER UNIT	
# OF UNITS	165
REQUIRED SPACES	148.5
RESIDENTIAL PARKING	
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T 201-795-1505
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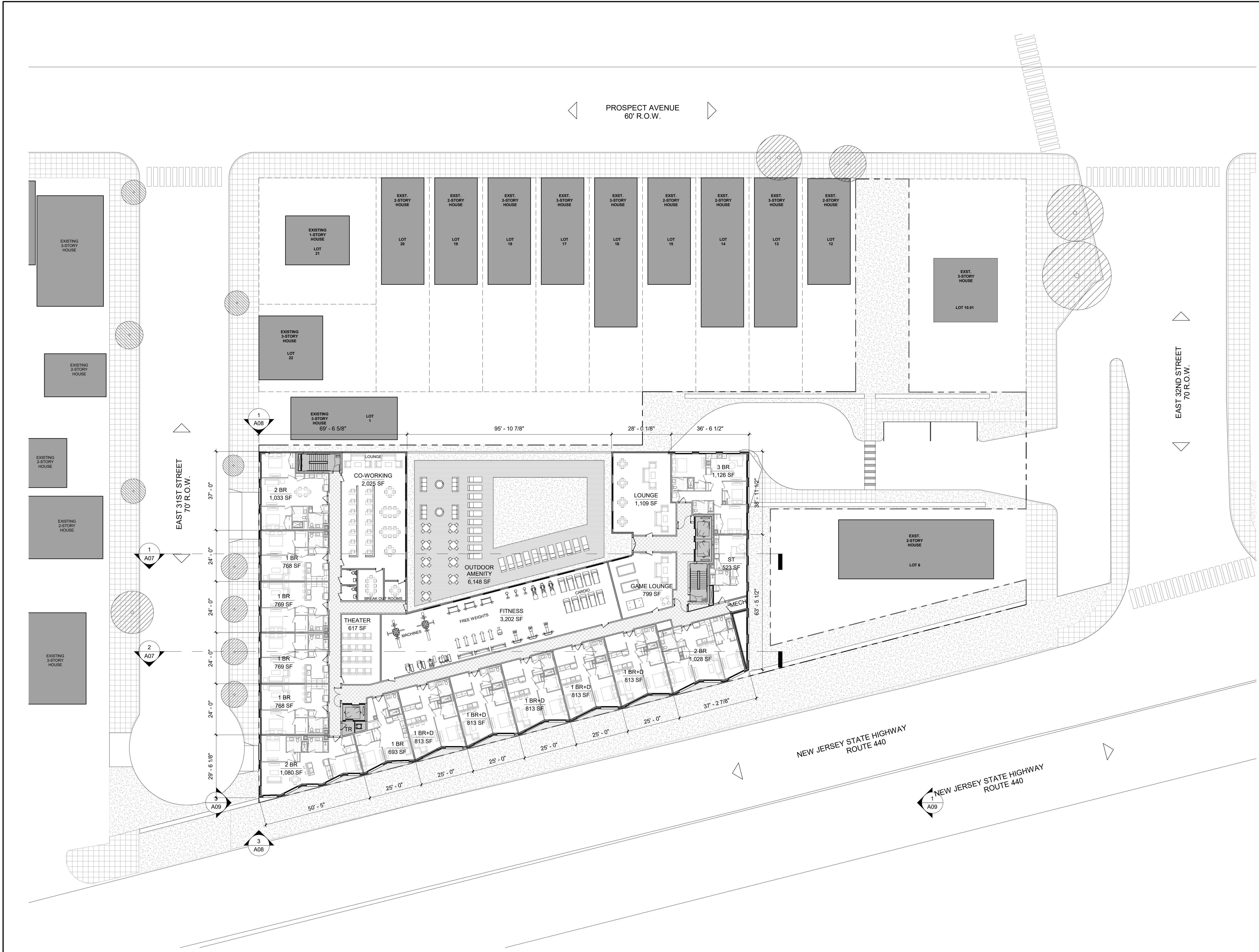
MEZZANINE FLOOR PLAN

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SCALE: As indicated
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A03M

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1 MEZZANINE FLOOR PLAN
SCALE: 1" = 20'-0"



1 2ND FLOOR PLAN
SCALE: 1" = 20'-0"

UNIT MIX DISTRIBUTION

TYPE	# OF UNITS	UNIT MIX	TARGET MIX
ST	19	12%	20%
1 BR	65	39%	25%
1 BR+D	35	21%	25%
2 BR	39	24%	30%
3 BR	7	4%	30%
TOTAL	165	100%	

UNIT COUNT - 2ND FLOOR

TYPE	# OF UNITS
ST	1
1 BR	5
1 BR+D	5
2 BR	3
3 BR	1
TOTAL	15

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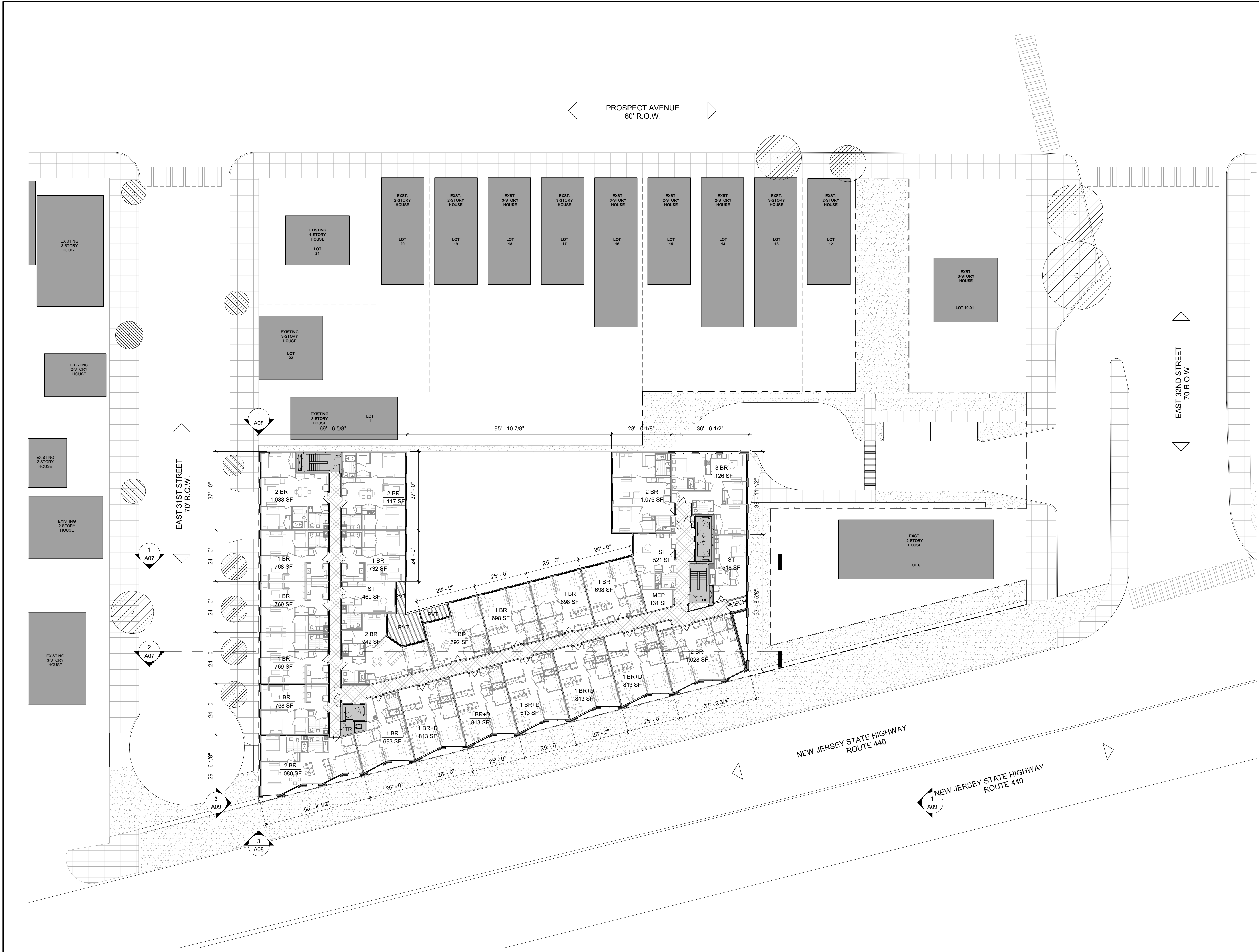
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2ND FLOOR PLAN

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A04

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1 3RD - 8TH FLOOR PLAN
SCALE: 1" = 20'-0"

UNIT MIX DISTRIBUTION			
TYPE	# OF UNITS	UNIT MIX	TARGET MIX
ST	19	12%	20%
1 BR	65	39%	25%
1 BR+D	35	21%	25%
2 BR	39	24%	30%
3 BR	7	4%	30%
TOTAL	165	100%	

UNIT COUNT - 3RD FLOOR	
TYPE	# OF UNITS
ST	3
1 BR	10
1 BR+D	5
2 BR	6
3 BR	1
TOTAL	25

MHS ARCHITECTURE
 Dean Marchetto, FAIA, PP
 NJ C07945
 Michael Higgins, AIA, LEED
 NJ21A10130830
 Bruce A Stevie, AIA
 NJ21A10137710
 Michael Buldo, AIA
 NJ21A101786800
 NY 035161
 Vincent Marchetto, AIA
 NJ21A102161600

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 Suite 5b
 Hoboken, NJ 07030
 T 201-795-1505
 MHSarchitecture.com
 STATE OF NEW JERSEY
 MICHAEL J. HIGGINS
 13083
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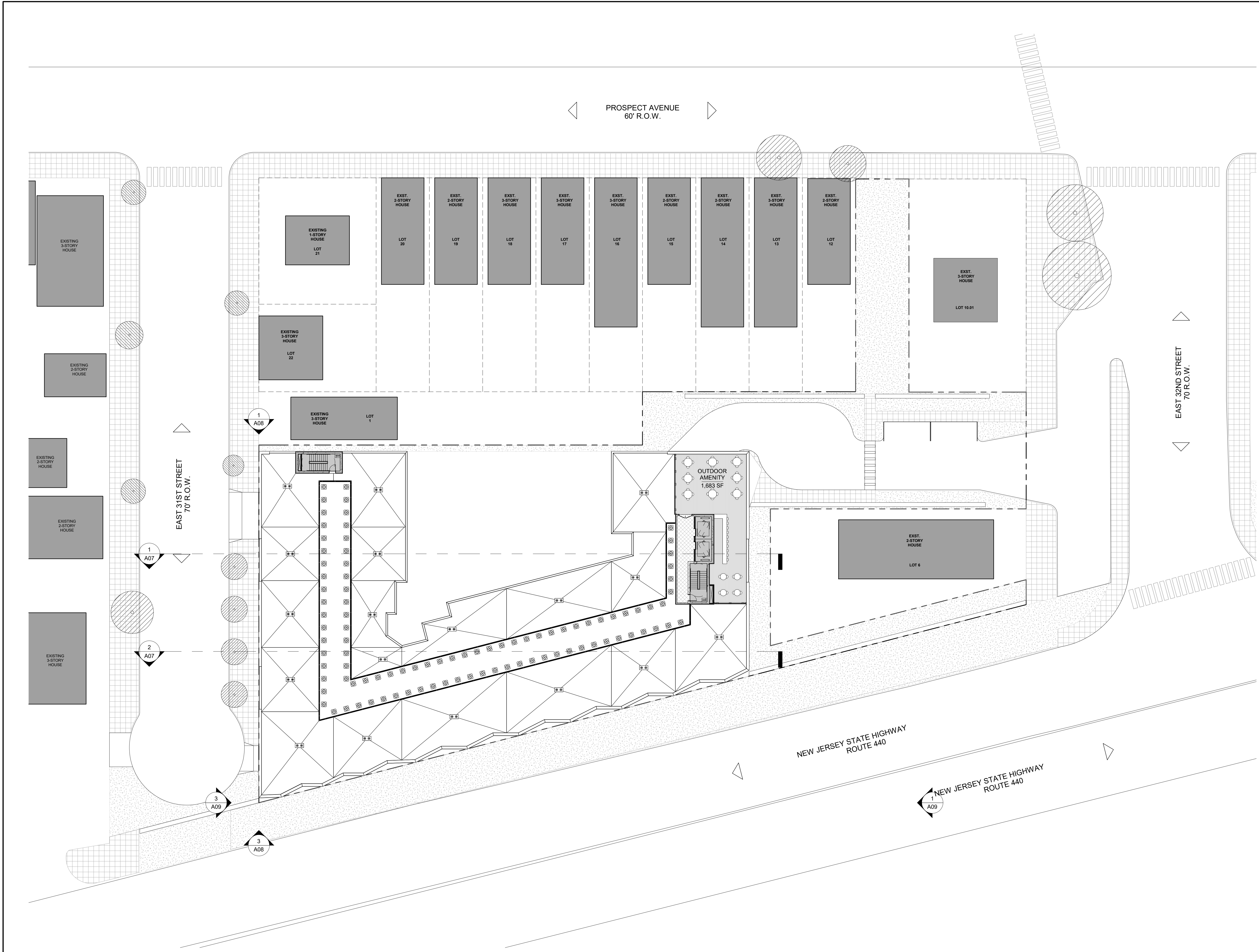
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3RD - 8TH FLOOR PLAN

PROJECT NUMBER:	2520
SCALE:	1" = 20'-0"
DRAWN BY:	AE
CHECKED BY:	VM

A05



1 ROOF PLAN
SCALE: 1" = 20'-0"

ROOF NOTES

- ALL ROOF LEADERS SHALL RUN INTERNALLY THROUGH THE BUILDING AND SHALL CONNECT TO THE EXISTING STORM WATER SYSTEM.
- ALL ROOFTOP STRUCTURES OR APPURTENANCES ARE SET BACK FROM ANY FRONT FACADE (PRIMARY OR SECONDARY) BY AT LEAST A DISTANCE OF ONE (1) FOOT ONE (1) INCH FOR EVERY FOOT OF ROOFTOP STRUCTURE OR APPURTENANCE OR PENTHOUSE HEIGHT.

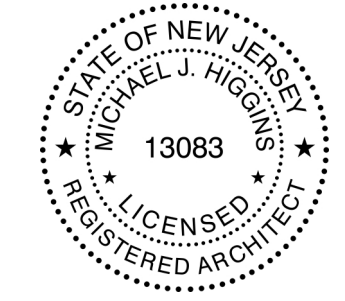
ROOF COVERAGE CALCULATION

NAME	AREA	PERCENTAGE
BULKHEAD	975 SF	4.09%
OUTDOOR AMENITY	1,734 SF	7.27%
ROOF	21,133 SF	88.64%
TOTAL	23,843 SF	100.00%

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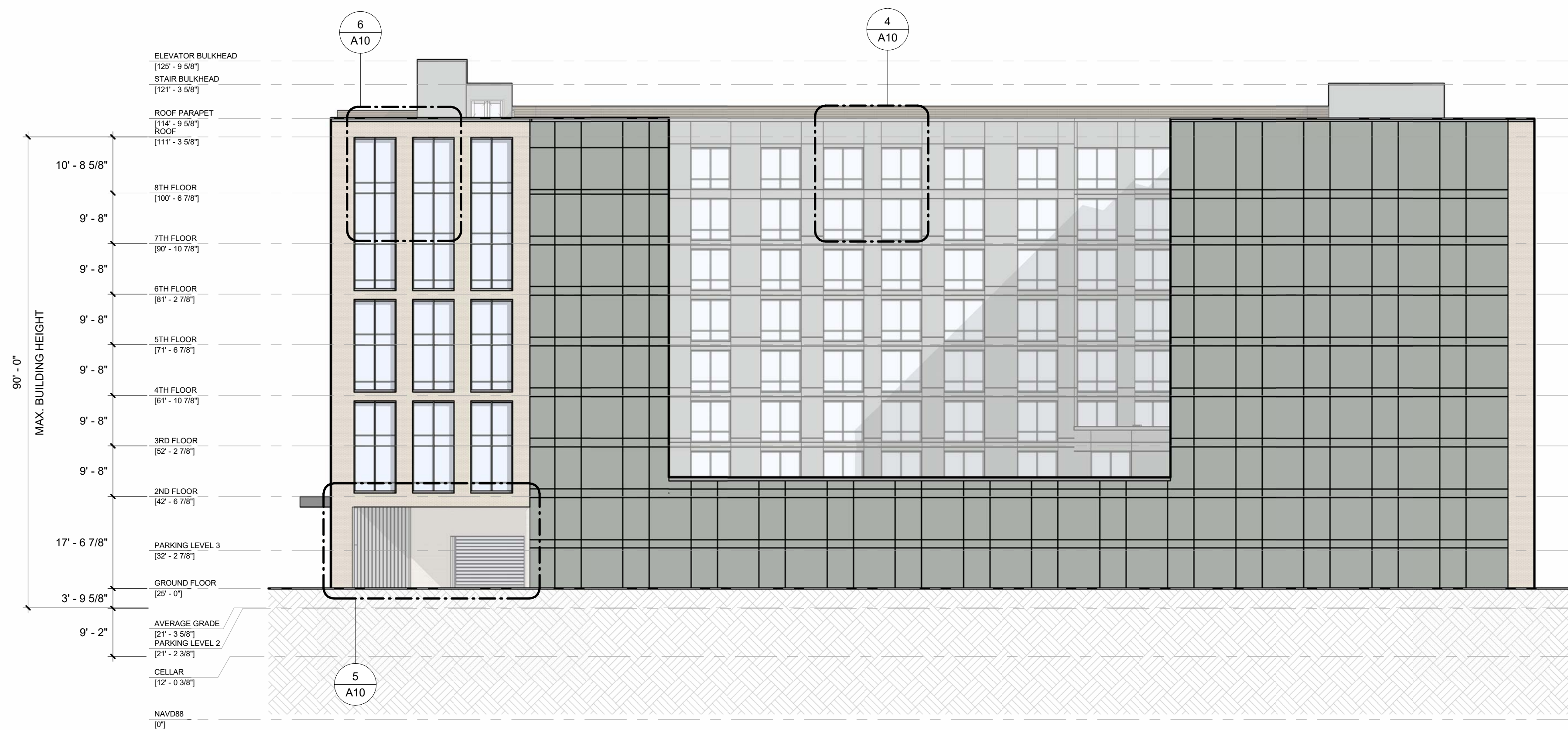
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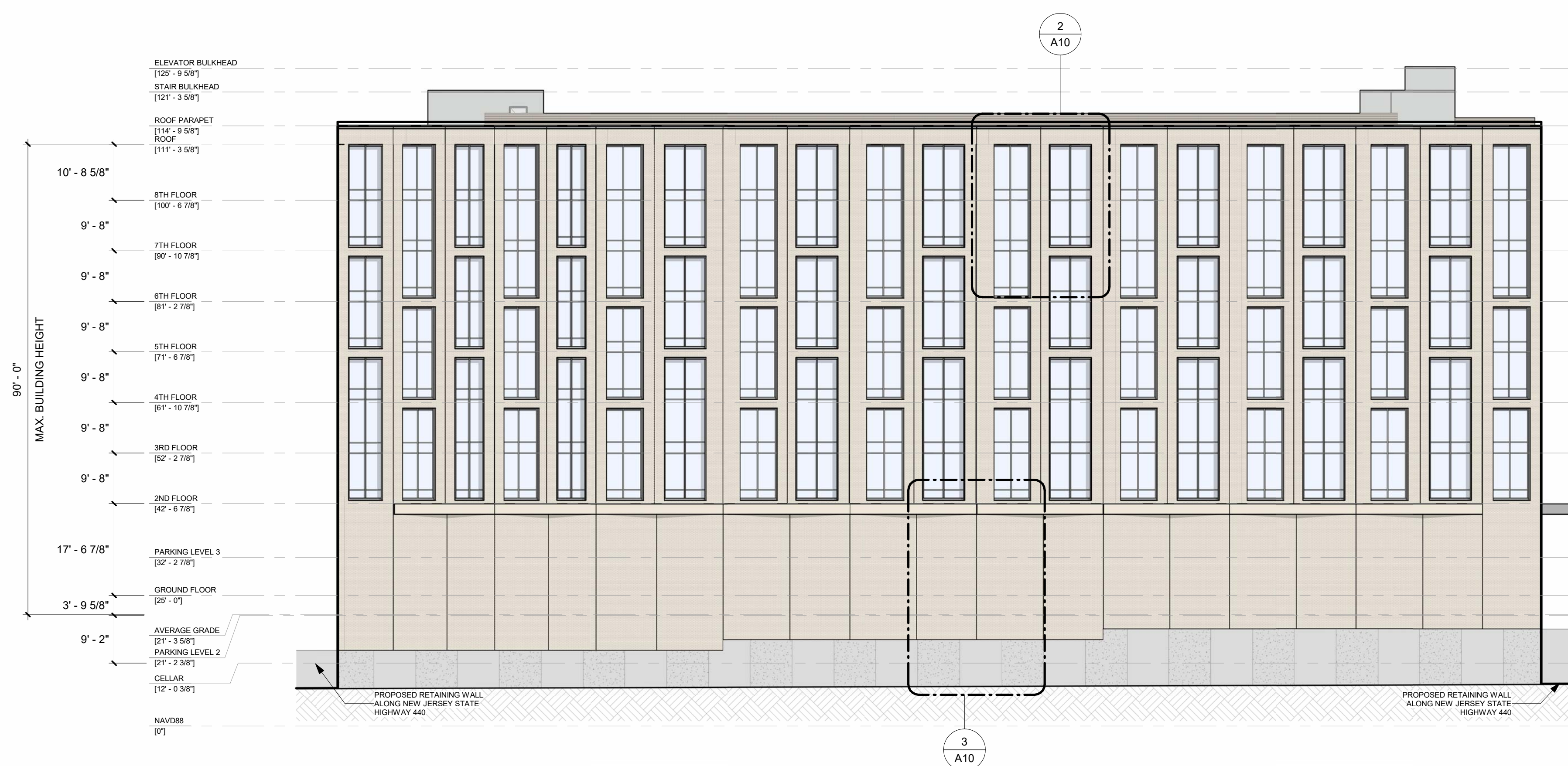
ROOF PLAN

PROJECT NUMBER: 2520
SCALE: As indicated
DRAWN BY: AE
CHECKED BY: VM

A06



1 WEST BUILDING ELEVATION
SCALE: 1/16" = 1'-0"



3 EAST BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH NOTES

- COLORS INDICATED REPRESENT BASIS-OF-DESIGN. FINAL COLOR SELECTION AND MANUFACTURER MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
- ALL COLORS TO BE "OR APPROVED EQUAL".
- ALL MANUFACTURERS TO BE "OR APPROVED EQUAL".

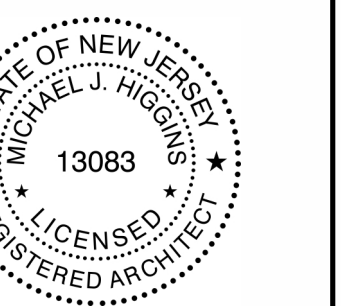
EXTERIOR FINISH LEGEND

- BR-03** BRICK VENEER
MANUFACTURER
GOLD
- FC-02** FIBER CEMENT SIDING
JAMES HARDIE
PEARL GRAY
- GL-01** STOREFRONT SYSTEM
VISION GLASS
CLEAR
- GL-02** WINDOW WALL SYSTEM
VISION GLASS
CLEAR
- MP-02** COMPOSITE METAL PANEL
MANUFACTURER
GRAY
- SM-04** STOREFRONT SYSTEM
MULLION
GRAY
- WM-03** WINDOW WALL SYSTEM
MULLION
GRAY



1422 Grand Street
Suite 5b
Hoboken, NJ 07030
T 201-795-1505
MHSarchitecture.com

Dean Marchetto, FAIA, PP
NJ C07945
Michael Higgins, AIA, LEED
NJ21A10130830
Bruce A Stieve, AIA
NJ21A10137710
Michael Buldo, AIA
NJ21A101786800
NY 035161
Vincent Marchetto, AIA
NJ21A102161600



PROJECT NAME:
PENINSULA VIEW

75 - 87 EAST 31ST STREET
BAYONNE, NEW JERSEY
07002

PREPARED FOR:
**PENINSULA VIEW URBAN
RENEWAL, LLC**
85 EAST 2ND STREET P.O. BOX 1009
BAYONNE, NJ 07002

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**EAST & WEST BUILDING
ELEVATIONS**

PROJECT NUMBER: 2520
SCALE: As indicated
DRAWN BY: AE
CHECKED BY: VM

A08

EXTERIOR FINISH NOTES

1. COLORS INDICATED REPRESENT BASIS-OF-DESIGN. FINAL COLOR SELECTION AND MANUFACTURER MAY VARY. FINAL COLOR SELECTION SUBJECT TO REVIEW AND APPROVAL BY OWNER AND ARCHITECT.
2. ALL COLORS TO BE "OR APPROVED EQUAL".
3. ALL MANUFACTURERS TO BE "OR APPROVED EQUAL".

EXTERIOR FINISH LEGEND

- BR-03 BRICK VENEER MANUFACTURER GOLD
- FC-02 FIBER CEMENT SIDING JAMES HARDIE PEARL GRAY
- GL-01 STOREFRONT SYSTEM VISION GLASS CLEAR
- GL-02 WINDOW WALL SYSTEM VISION GLASS CLEAR
- MP-02 COMPOSITE METAL PANEL MANUFACTURER GRAY
- SM-04 STOREFRONT SYSTEM MULLION GRAY
- WM-03 WINDOW WALL SYSTEM MULLION GRAY

MHS ARCHITECTURE

1422 Grand Street
Suite 5b
Hoboken, NJ 07030
T 201-795-1505
MHSarchitecture.com

Dean Marchetto, FAIA, PP
NJ C07945
Michael Higgins, AIA, LEED
NJ21A10130830
Bruce A Stieve, AIA
NJ21A10137710
Michael Buldo, AIA
NJ21A101786800
NY 035161
Vincent Marchetto, AIA
NJ21A102161600

STATE OF NEW JERSEY
MICHAEL J. HIGGINS
13083
LICENSED REGISTERED ARCHITECT

PROJECT NAME:
PENINSULA VIEW

75 - 87 EAST 31ST STREET
BAYONNE, NEW JERSEY
07002

PREPARED FOR:
PENINSULA VIEW URBAN RENEWAL, LLC
85 EAST 2ND STREET P.O. BOX 1009
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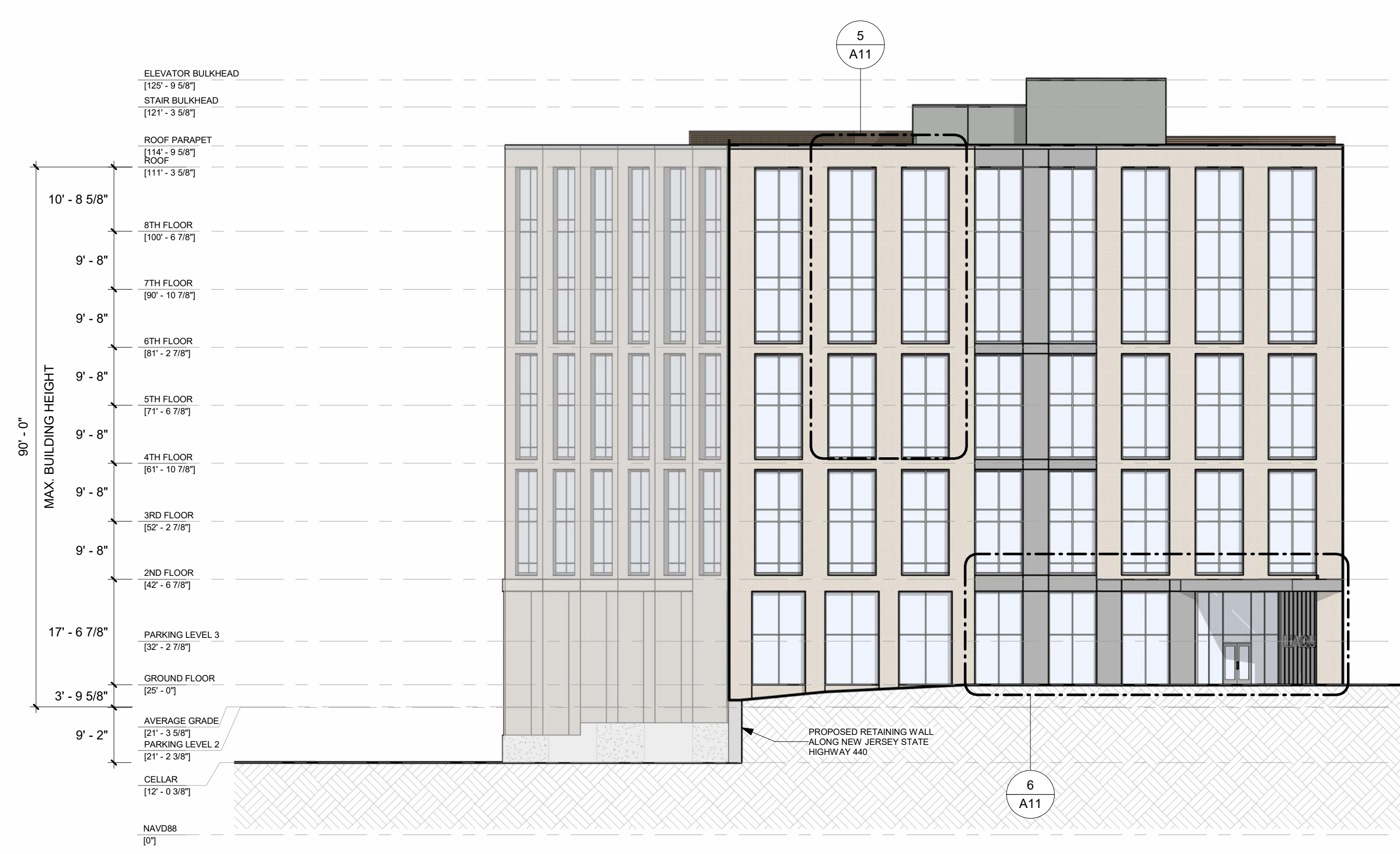
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NORTH & SOUTH BUILDING ELEVATIONS

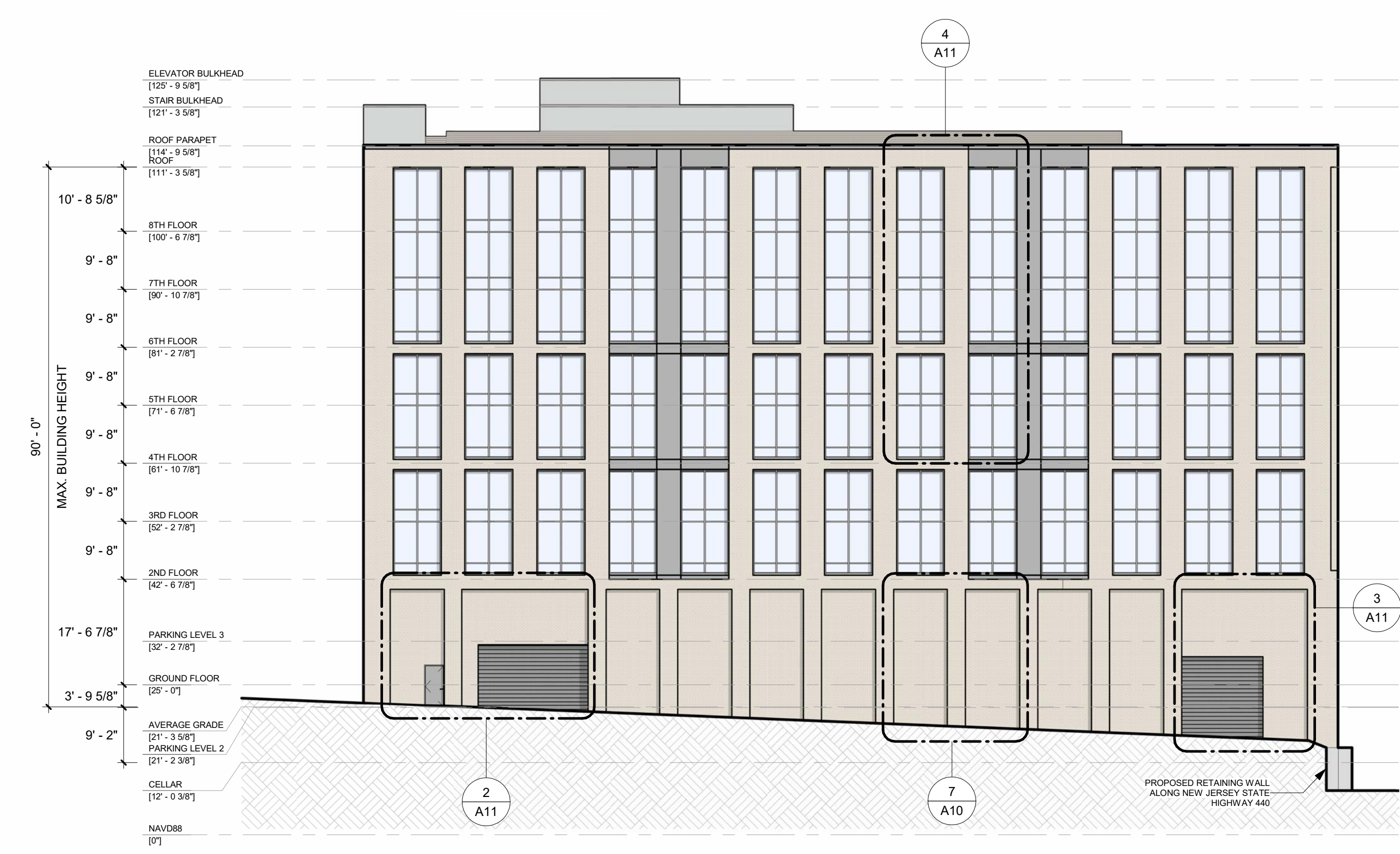
PROJECT NUMBER:	2520
SCALE:	As indicated
DRAWN BY:	AE
CHECKED BY:	VM

A09

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1 NORTH BUILDING ELEVATION
SCALE: 1/16" = 1'-0"



3 SOUTH BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

