

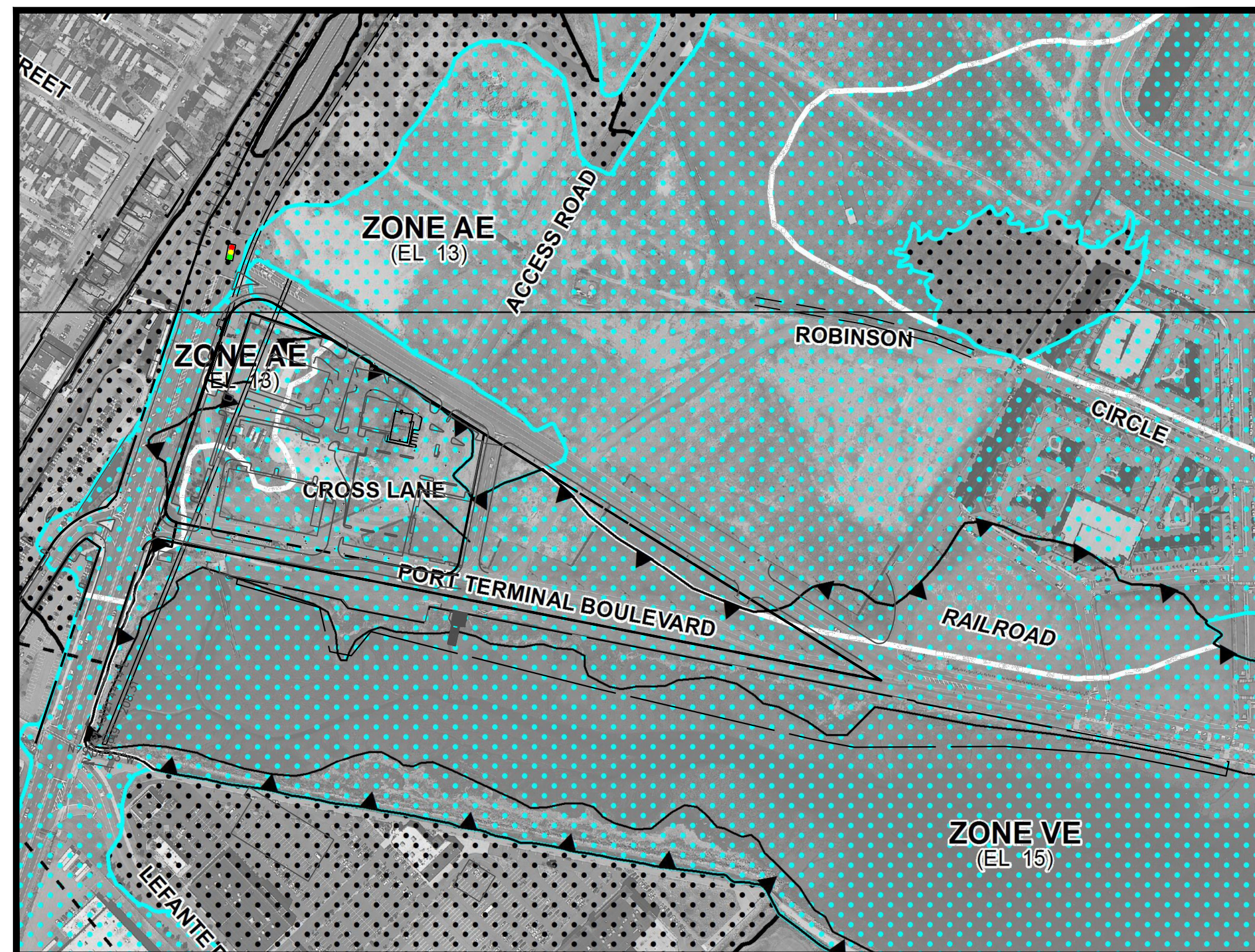
HARBOR VIEW MARKETPLACE

AMENDED SITE PLAN BLOCK 721, LOT 2 CITY OF BAYONNE HUDSON COUNTY, NEW JERSEY



AERIAL SITE LOCATION MAP

SCALE : 1" = 400'



MAP NUMBER : 34017C0111E

EFFECTIVE DATE : DECEMBER 20, 2013

FEMA FLOOD MAP

SCALE : 1" = 300'

Drawing Index			
Sheet No.	Drawing No.	Drawing Title	Last Revised
1	GI-001	Cover Sheet	3/5/2026
2	EX-101	Existing Conditions Plan and Demolition Plan	3/5/2026
3	CS-101	Site Plan	3/5/2026
4	CG-101	Site Improvements Plan	3/5/2026
5	CE-101	Erosion and Sediment Control Plan and Details	3/5/2026
6	CU-101	Utility Plan and Profiles	3/5/2026
7	CS-501	Site Improvements Details	3/5/2026

Supplemental Drawings:
1. "As-Built Survey". Tax Lot 2, Block 721 prepared by DPK Consulting, LLC, last revised 12/13/2022.

APPLICANT/OWNER:

Bayonne Redevelopers Urban
Renewal Block 720, LLC.
c/o JMF Properties
80 South Jefferson Road, Suite 202
Whippany, NJ 07981
Phone: 973.451.0111

CIVIL ENGINEER:



arna Engineering Inc.
1456 Ferry Road, Suite 603
Doylestown, PA 18901
Phone: 215.766.8280
Fax: 215.434.5280
ATTN: Chirag V. Thakkar, P.E.

SURVEYOR:

DPK Consulting, LLC.
200 Metroplex Drive, Suite 285
Edison, NJ 08817
Phone: 732.764.0100
Fax: 732.764.0990

12/28/2006 14:06 2018586356 TAX ASSESSOR PAGE 02/06										12/28/2006 14:06 2018586356 TAX ASSESSOR PAGE 06/06									
BAYONNE CITY										BAYONNE CITY									
OWNER & ADDRESS REPORT										OWNER & ADDRESS REPORT									
BAYONNE PROPERTY OWNERS WITHIN 200 FEET OF BLOCK 720 LOT 1										BAYONNE PROPERTY OWNERS WITHIN 200 FEET OF BLOCK 720 LOT 1									
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	ADJ'Y Lots				BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	ADJ'Y Lots			
720	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH					407	1	150	07105	NEW JERSEY TRANSIT CORP	PROSPECT AVE				
404	2.05	150	07102	CITY OF BAYONNE & PA OF NY & NJ	PARK-HARBOR STATION SOUTH					407	2	150	07105	NEW JERSEY TRANSIT CORP	E 32ND STREET/PROSPECT AVE				
780	2	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH					407	3	150	07105	NEW JERSEY TRANSIT CORP	NY BAY & PROSPECT AVE				
770	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH					730	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH				
815	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH					404	2.05	150	07102	CITY OF BAYONNE & PA OF NY & NJ	PARK-HARBOR STATION SOUTH				
830	1.02	1	07095	BAYONNE BAY DEVELOPMENT INC., LLC	PARK-HARBOR BAY					780	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH				
880	1.03	1	07095	BAYONNE BAY DEVELOPMENT INC., LLC	PARK-HARBOR BAY					700	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH				
890	1.04	1	07095	BAYONNE BAY DEVELOPMENT INC., LLC	PARK-HARBOR BAY					751	1	150	07102	CITY OF BAYONNE	PARK-HARBOR STATION SOUTH				

200 FT OWNERS LIST

I ACKNOWLEDGE THAT I AM THE OWNER OF THIS TRACT AND DO HEREBY
CONSENT TO THE FILING OF THIS MAP.

CITY OF BAYONNE
PROPERTY OWNER

DATE

THESE SITE PLANS ARE HEREBY APPROVED BY THE CITY OF BAYONNE
PLANNING BOARD.

CHAIRMAN

DATE

SECRETARY

DATE

ENGINEER

DATE

CALL BEFORE YOU DIG
IN NJ, TOLL FREE
1-800-272-1000
FOR FREE MARKOUTS TO LOCATE
UNDERGROUND UTILITIES
"IT'S THE LAW"
GARDEN STATE UNDERGROUND PLANT LOCATION SERVICE, INC.

NOT ISSUED FOR CONSTRUCTION

CHIRAG V. THAKKAR
PROFESSIONAL ENGINEER
NJ LIC. No. PE 24GE04451600

1. MARCH 5, 2026

Drawing Title

GI-001

Sheet 1 OF 7

NOTES:

- BOUNDARY AND TOPOGRAPHIC FEATURES INFORMATION SHOWN HEREON IS BASED ON AN AS-BUILT SURVEY PREPARED BY DPK CONSULTING, LLC, LAST REVISED 12/13/2022.
- THIS SURVEY REPRESENTS FIELD CONDITIONS AS OF SEPTEMBER 21, 2022 AND DECEMBER 6, 2022.
- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM EVIDENCE OBSERVED ON THE SURFACE ONLY OR HAVE BEEN SHOWN GRAPHICALLY PER SUPPLIED MATERIALS. DPK MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. DPK FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. DPK HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- ALSO KNOWN AS LOT 2 IN BLOCK 721 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE CITY OF BAYONNE, HUDSON COUNTY, NEW JERSEY.
- THE VERTICAL DATUM IS NAVD 88 AND HORIZONTAL DATUM IS NAD 1983.
- UTILITIES AS SHOWN ARE PER AN AS-BUILT SURVEY PREPARED BY DPK CONSULTING, LLC, LAST REVISED 12/13/2022.
- TOPOGRAPHIC INFORMATION IS FROM AN AS-BUILT SURVEY PREPARED BY DPK CONSULTING, LLC, LAST REVISED 12/13/2022.
- BY GRAPHIC PLOTTING ONLY, THE PREMISES ARE LOCATED IN FIRM ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND FIRM ZONE AE (SPECIAL FLOOD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATIONS = 9' DATUM REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS PER COMMUNITY PANEL NUMBER 111 OF 118, MAP NUMBER 34017C0111E, EFFECTIVE DATE AUGUST 16, 2006.
- BY GRAPHIC PLOTTING ONLY, THE PREMISES ARE LOCATED IN PRELIMINARY FIRM ZONE AE (SPECIAL FLOOD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATION = 12' & 13' DATUM REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS PER COMMUNITY PANEL NUMBER 111 OF 118, MAP NUMBER 34017C0111D, EFFECTIVE DATE DECEMBER 20, 2013.

NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

9. IF THIS DOCUMENT DOES NOT CONTAIN A RAISED SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

REFERENCE MAPS

- MAP ENTITLED "ALTAINSPS LAND TITLE SURVEY, CONDOMINIUM UNIT 2, PORTION OF TAX LOT 2, BLOCK 721, GOLDSBOROUGH DRIVE, CITY OF BAYONNE, HUDSON COUNTY, NEW JERSEY," PREPARED BY DPK CONSULTING, DATED 02/19/2020, LAST REVISED 03/31/2020 AS REVISION #2.
- SET OF PLANS ENTITLED "HARBOR VIEW MARKETPLACE, PRELIMINARY/FINAL MAJOR SITE PLAN, BLOCK 721, LOT 2, BLOCK 722, LOT 1, BLOCK 721, LOT 1, CITY OF BAYONNE, HUDSON COUNTY, NEW JERSEY," PREPARED BY ARNA ENGINEERING, INC., DATED APRIL 13, 2018, LAST REVISED JANUARY 3, 2020.
- PLAN ENTITLED "CONDOMINIUM PLAN, LOT 2, BLOCK 721, SITUATED IN THE CITY OF BAYONNE, HUDSON COUNTY, NEW JERSEY" PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 10/22/2018 AND LAST REVISED 11/11/2019.
- MAP ENTITLED "ALTAINSPS LAND TITLE SURVEY, LOT 2, BLOCK 721, ROUTE 440 EAST & GOLDSBOROUGH DRIVE TO PORT TERMINAL BOULEVARD" PREPARED BY PARTNER ENGINEERING AND SCIENCE, INC., DATED 8/27/2018.

DEMOLITION PLAN NOTES:

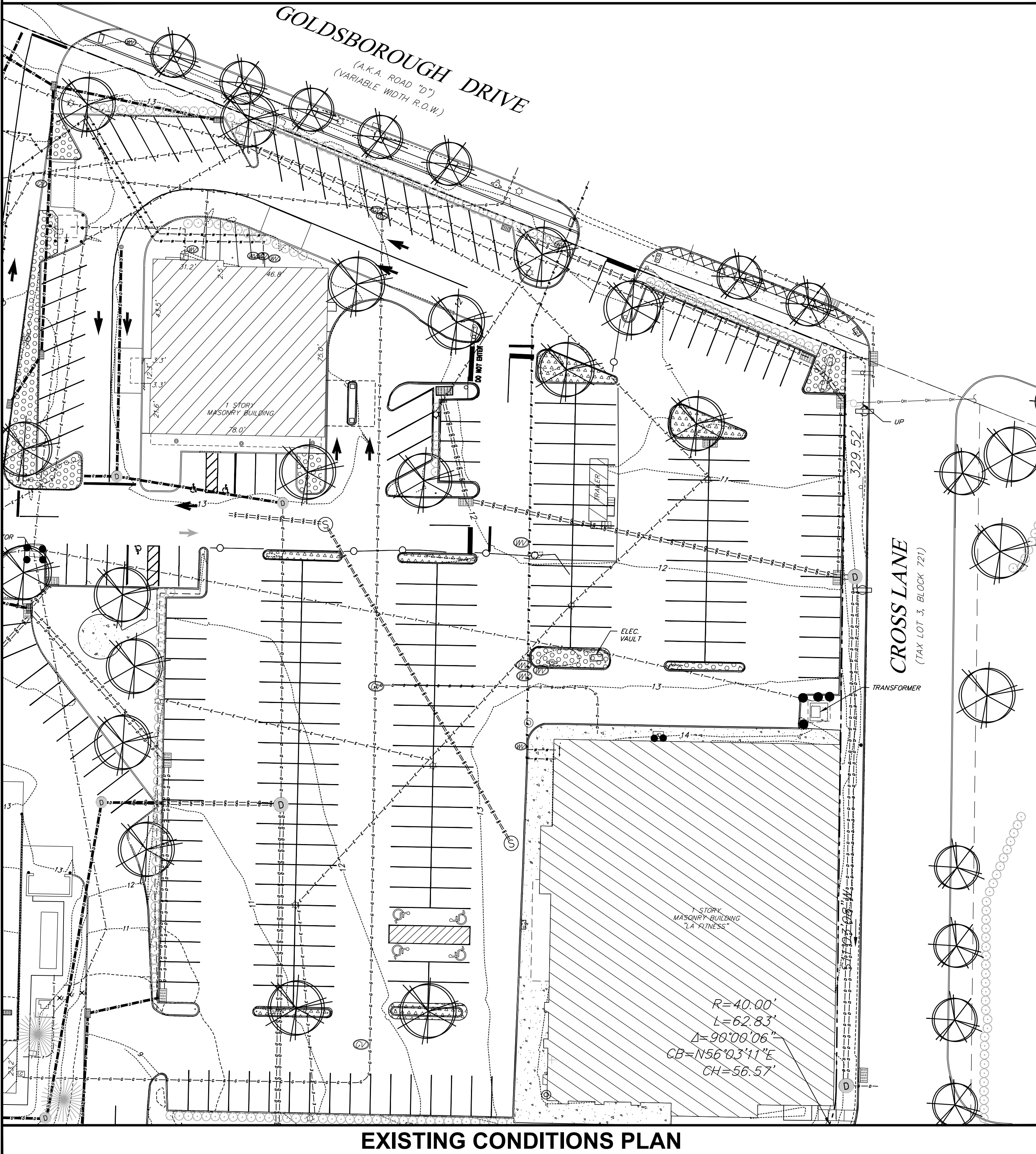
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
- THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO IDENTIFY THE LIMITS OF DEMOLITION AND SHALL NOT BE CONSIDERED AN INCLUSIVE ADDITIONAL ITEMS MAY BE FOUND THAT SHALL BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL LIMITS & EXTENTS OF DEMOLITION. DEMOLITION OF BUILDINGS IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL BUILDING DEMOLITION LIMITS AND COORDINATION.
- THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF CITY OF BAYONNE AND OTHER JURISDICTIONAL AGENCIES. DEMOLITION AND REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AS WELL AS THE EROSION CONTROL PLANS, SPECIFICALLY THE CONSTRUCTION STAGING.
- THE CONTRACTOR MUST INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES PER THE APPROVED PLAN PRIOR TO THE START OF EARTH DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO, SIDEWALK/STREET CLOSING, DEMOLITION, DISPOSAL AND ASBESTOS ABATEMENT.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALK DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL ITEMS WITH FENCING, BARRICADES, ENCLOSURES, ETC. AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES AS APPROVED BY CONSTRUCTION MANAGER. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY AND EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE/PHASE ALL CONSTRUCTION ACTIVITY AND UTILITY INTERRUPTIONS WITH THE OWNER TO MINIMIZE DISTURBANCE.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL OFFSITE PROPERTIES AND STRUCTURES FROM ANY AND ALL DAMAGE DURING THE DEMOLITION OPERATION. THE CONTRACTOR SHALL USE ANY NECESSARY PROTECTION SCREENS, PLATFORMS, BRACING, UNDERPINNING, ETC. TO PROTECT OFFSITE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR OR COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND INSTALLATION OF DEMOLITION / CONSTRUCTION FENCE. THE LIMITS OF FENCE ON THIS PLAN ARE SHOWN FOR GRAPHICAL PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL LIMITS AND THE AMOUNT OF FENCE REQUIRED IN ADDITION TO THE SECURITY OF THE WORK AREA.
- THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND LATERALS. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS IS BASED ON THE SURVEY PREPARED BY OTHERS. THE INFORMATION IS NOT TO BE RELED UPON AS BEING EXACT OR COMPLETE. ADDITIONAL UTILITIES MAY ALSO EXIST. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- ALL EXISTING UTILITIES SHOWN MUST NOT BE INTERPRETTED AS OF THE EXACT SIZE, DEPTH, MATERIAL, LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR MUST THOROUGHLY VERIFY EXISTING CONDITIONS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO THE ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE ROUTED IF UNDER BUILDING.
- ALL EXISTING UTILITIES TO BE REMOVED ARE TO BE DISCONNECTED PRIOR TO THE START OF DEMOLITION. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND / OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. CONTRACTOR MUST PROVIDE ADEQUATE TIME FOR RELOCATION AND COORDINATION WITH THE UTILITY COMPANIES TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE AND THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING / PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- THE DEMOLITION CONTRACTOR SHALL COORDINATE DECOMMISSIONING AND REMOVAL OF UTILITY LINES WITH THE UTILITY CONTRACTOR AS TO LOCATION AND CONDITION OF CAPPING. THE ACCESS SHALL REMAIN OPEN AND IN OPERATION AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED UTILITY SERVICE TO THE SURROUNDING PROPERTIES AND EXISTING TENANTS AT ALL TIMES.
- ALL EXISTING UTILITIES THAT ARE NOT TO BE MAINTAINED IN SERVICE SHOULD EITHER BE REMOVED AND REPLACED WITH APPROVED COMPACTED FILL, OR BE ABANDONED IN PLACE BY FILLING WITH GROUT AND CAPPING, PROVIDED THAT THEY DO NOT INTERFERE WITH ANY OF THE PROPOSED CONSTRUCTION.
- ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT NOTED TO BE REMOVED MUST BE REMOVED COMPLETELY THROUGHOUT THE SITE TO PERMIT PROPER GRADING AND FILL PLACEMENT AS WELL AS FACILITATE BUILDING CONSTRUCTION AND UTILITY INSTALLATIONS. THE REUSE OF EXISTING PAVEMENT/AS MATERIALS AFTER PROCESSING SHOULD BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND ENVIRONMENTAL STATUTES AND AT THE DIRECTION OF THE OWNER AND GEOTECHNICAL ENGINEER.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- ALL EXISTING FOUNDATIONS AND ALL SUPPORTING UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINTS AND WITHIN A 10' WIDE ZONE, BEYOND THE PROPOSED BUILDING FOOTPRINT LIMITS MUST BE REMOVED AND REPLACED WITH APPROVED STRUCTURAL FILL COMPACTED PER SPECIFICATION. REFER TO GEOTECHNICAL REPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL.

(IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIALS AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATION.

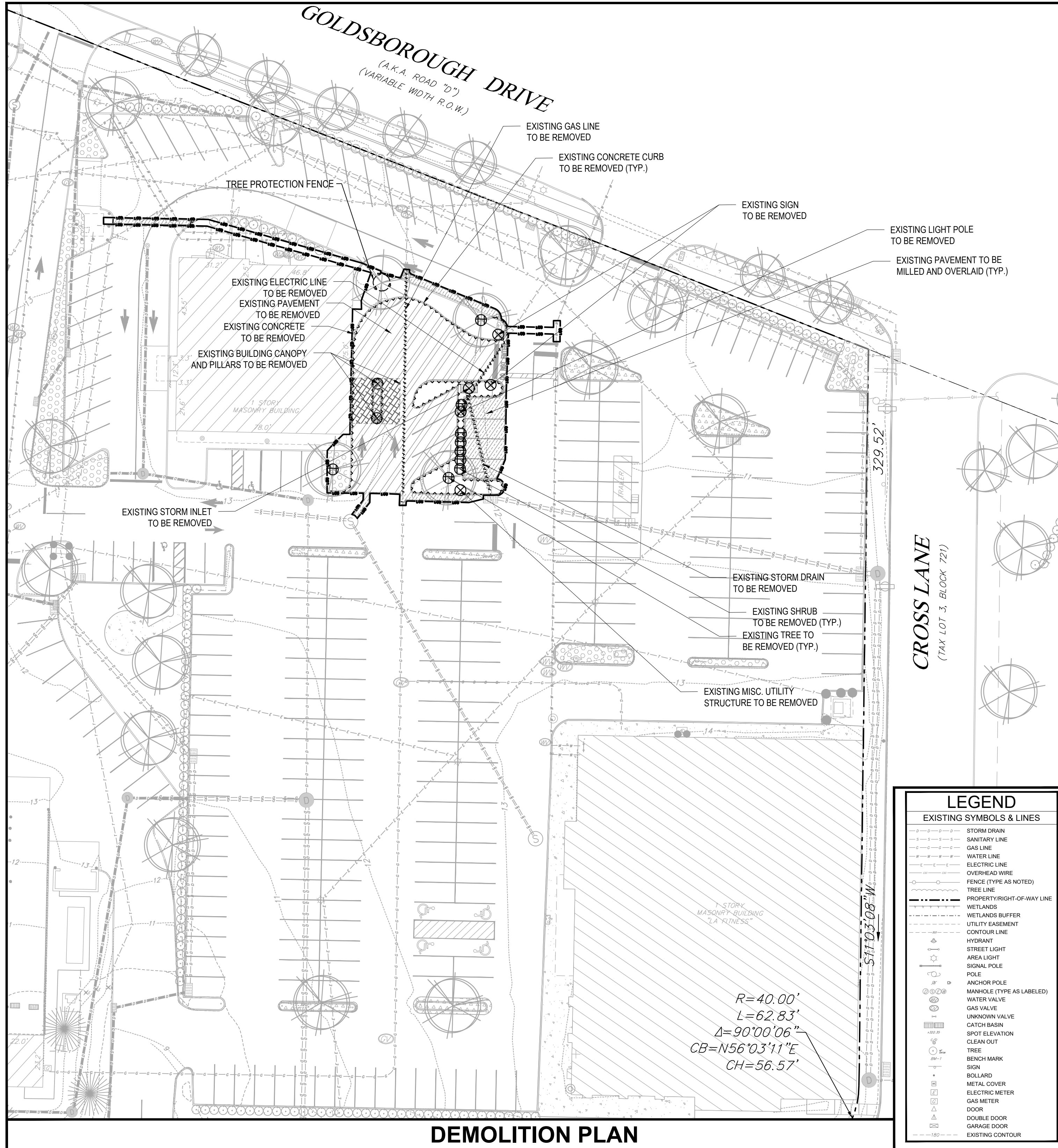
- THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE STATE, FEDERAL, & LOCAL REGULATION IF CONTAMINATED MATERIAL IS ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION.
- SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS / STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. EXCEPT FOR MATERIAL DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- CONTRACTOR MUST MAINTAIN VEHICULAR ACCESS THROUGH THE EXISTING PORT TERMINAL BLVD. AND CROSS LANE DURING CONSTRUCTION.
- CONTRACTOR MUST MAINTAIN UNINTERRUPTED UTILITY SERVICES TO ALL PROPERTIES LOCATED ON THE PENINSULA.

DEMOLITION PLAN LEGEND

- EXISTING CONCRETE TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING STRUCTURES TO BE REMOVED
- EXISTING PAVEMENT TO BE MILLED
- EXISTING CONCRETE CURB TO BE REMOVED
- EXISTING FEATURE TO BE REMOVED
- EXISTING TREES/SHRUB TO BE REMOVED
- EXISTING FEATURE (LINEAR) TO BE REMOVED
- LIMIT OF DISTURBANCE



EXISTING CONDITIONS PLAN



DEMOLITION PLAN

arna
ENGINEERING
CIVIL ENGINEERS

Arna Engineering Inc.
1456 Ferry Road, Suite 603
Doylestown, PA 18901
T: 215.766.8280
F: 215.434.5280
NJ CERTIFICATE OF AUTHORIZATION: 24G0282220



Project

HARBOR VIEW
MARKETPLACE

BLOCK 721, LOT 2

CITY OF BAYONNE
HUDSON COUNTY
NEW JERSEY

Drawing Title

EXISTING
CONDITIONS PLAN
AND DEMOLITION
PLAN

CHIRAG V. THANKAR
PROFESSIONAL ENGINEER
NJ LIC. No. PE 24GE0451600

DATE COMMENTS NO.

REVISIONS

Project No. 230005801

Date 3/5/2026

Scale 1" = 30'

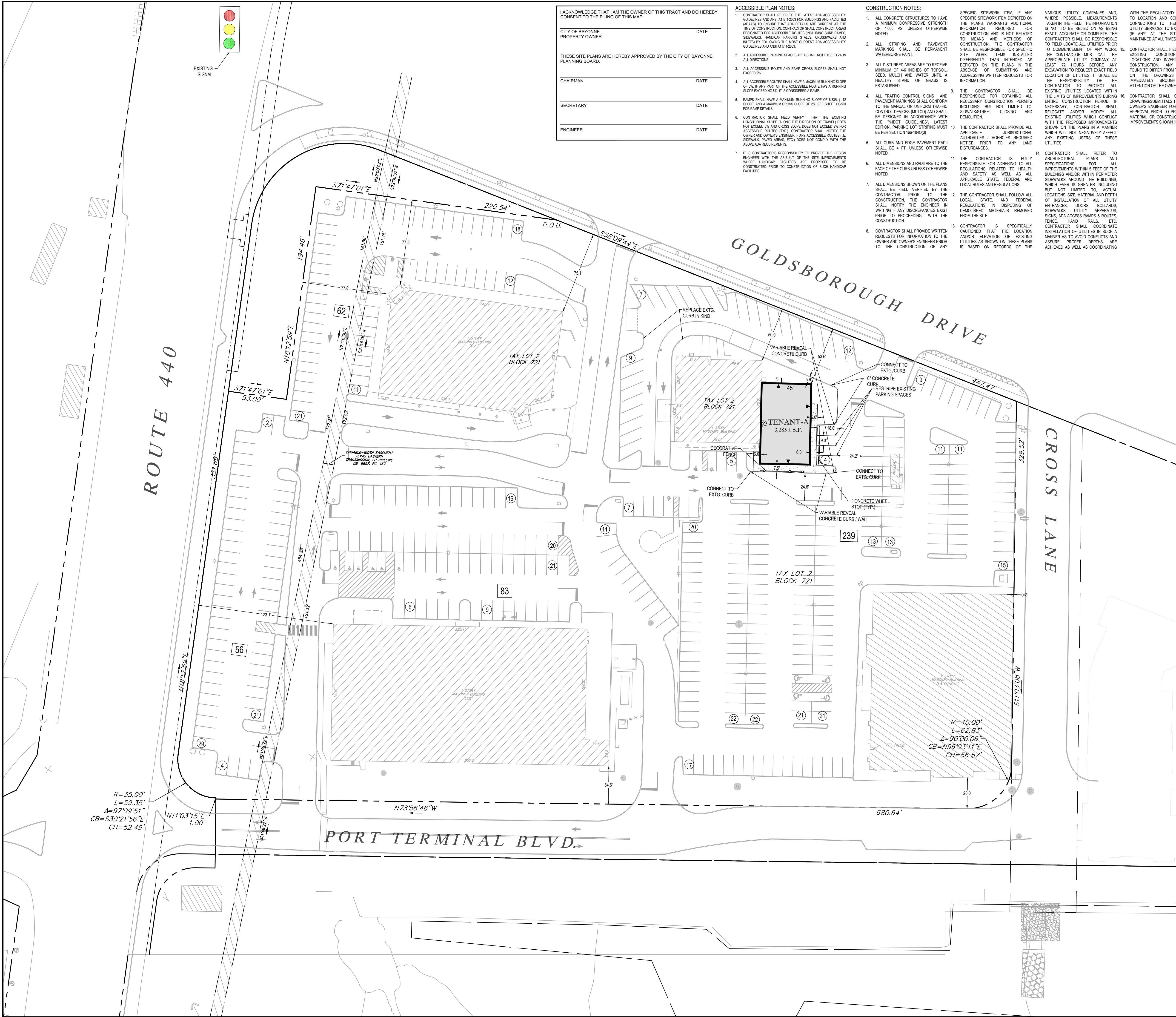
Drawn By MMS

Checked By CT

Drawing No.

DM-101

Sheet 2 of 7



I ACKNOWLEDGE THAT I AM THE OWNER OF THIS TRACT AND DO HEREBY CONSENT TO THE FILING OF THIS MAP.

CITY OF BAYONNE
PROPERTY OWNER

DATE

THESE SITE PLANS ARE HEREBY APPROVED BY THE CITY OF BAYONNE PLANNING BOARD.

CHAIRMAN

DATE

SECRETARY

DATE

ENGINEER

DATE

- ACCESSIBLE PLAN NOTES:**
- CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003 FOR BUILDINGS AND FACILITIES (ADAG) TO ENSURE THAT ADA DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL CONSIDER AREAS DESIGNATED FOR ACCESSIBLE ROUTES INCLUDING CURB RAMP, SIDEWALK, HANDICAP PARKING STALLS, CROSSWALKS, AND INLETS BY FOLLOWING THE MOST CURRENT ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1-2003.
 - ALL ACCESSIBLE PARKING SPACES AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
 - ALL ACCESSIBLE ROUTE AND RAMP CROSS SLOPES SHALL NOT EXCEED 2%.
 - ALL ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM RUNNING SLOPE OF 2% IF ANY PART OF THE ACCESSIBLE ROUTE HAS A RUNNING SLOPE EXCEEDING 2%, IT IS CONSIDERED A RAMP.
 - RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12 SLOPE) AND A MAXIMUM CROSS SLOPE OF 2%. SEE SHEET CS-01 FOR RAMP DETAILS.
 - CONTRACTOR SHALL FIELD VERIFY THAT THE EXISTING LONGITUDINAL SLOPE (ALONG THE DIRECTION OF TRAVEL) DOES NOT EXCEED 2% AND CROSS SLOPE DOES NOT EXCEED 2% FOR ACCESSIBLE ROUTES (TYP). CONTRACTOR SHALL NOTIFY THE OWNER AND OWNER'S ENGINEER IF ANY ACCESSIBLE ROUTES (E.G. SIDEWALK, PAVED AREAS, ETC.) DOES NOT COMPLY WITH THE ABOVE ADA REQUIREMENTS.
 - IT IS CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE DESIGN ENGINEER WITH THE AS-BUILT OF THE SITE IMPROVEMENTS WHERE HANDICAP FACILITIES ARE PROPOSED TO BE CONSTRUCTED PRIOR TO CONSTRUCTION OF SUCH HANDICAP FACILITIES.
- CONSTRUCTION NOTES:**
- ALL CONCRETE STRUCTURES TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
 - ALL STRIPING AND PAVEMENT MARKINGS SHALL BE PERMANENT WATERBORNE PAINT.
 - ALL DISTURBED AREAS ARE TO RECEIVE MINIMUM OF 4# INCHES OF TOPSOIL, THE ASSISTANCE OF SUBMITTING AND SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL TRAFFIC CONTROL, SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE DESIGNED IN ACCORDANCE WITH THE "NDOT" GUIDELINES. LATEST EDITION. PARKING LOT STRIPING MUST BE PER SECTION 166.10(403).
 - ALL CURB AND EDGE PAVEMENT RADI SHALL BE 4' FT, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY
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 - ALL CURB AND EDGE PAVEMENT RADI SHALL BE 4' FT, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY

- CONSTRUCTION NOTES:**
- ALL CONCRETE STRUCTURES TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
 - ALL STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE DESIGNED IN ACCORDANCE WITH THE "NDOT" GUIDELINES. LATEST EDITION. PARKING LOT STRIPING MUST BE PER SECTION 166.10(403).
 - ALL CURB AND EDGE PAVEMENT RADI SHALL BE 4' FT, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY
- CONSTRUCTION NOTES:**
- ALL CONCRETE STRUCTURES TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI UNLESS OTHERWISE NOTED.
 - ALL STRIPING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL BE DESIGNED IN ACCORDANCE WITH THE "NDOT" GUIDELINES. LATEST EDITION. PARKING LOT STRIPING MUST BE PER SECTION 166.10(403).
 - ALL CURB AND EDGE PAVEMENT RADI SHALL BE 4' FT, UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADI ARE TO THE FACE OF THE CURB UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
 - CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION TO THE OWNER AND OWNER'S ENGINEER PRIOR TO THE CONSTRUCTION OF ANY

- SITE PLAN NOTES:**
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - ALL DRAWINGS IN THIS PLAN SET ARE MADE PART OF THIS RECORD PLAN AND ALL INFORMATION SHOWN HEREON SHALL BE CONSIDERED APPLICABLE FOR THE COMPLETION OF THE PROJECT. INDIVIDUAL PLANS SHALL NOT BE USED SINCE THEY CONSTITUTE ONLY A PART OF THE COMPLETE SET OF PLANS FOR THIS PROJECT.
 - THE SUBJECT SITE CONSISTS OF EXISTING BLOCK 721 LOT 2, LOCATED IN CITY OF BAYONNE, HUDSON COUNTY, NJ.
 - THE SUBJECT SITE IS GOVERNED BY REDEVELOPMENT PLAN FOR THE PENINSULA AT BAYONNE HARBOR HARBOR STATION SOUTH DATED DECEMBER 2015.
 - BOUNDARY AND TOPOGRAPHIC FEATURES INFORMATION SHOWN HEREON IS BASED ON AN AS-BUILT SURVEY PREPARED BY GPK CONSULTING, LLC, LAST REVISED 12/13/2022.
 - THE VERTICAL DATUM IS NAVD 88 AND HORIZONTAL DATUM IS NAD 83.
 - BY GRAPHIC PLOTTING ONLY, THE PREMISES ARE LOCATED IN FIRM ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND FIRM ZONE AE (SPECIAL FLOOD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATIONS + 9' DATUM REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS PER COMMUNITY PANEL NUMBER 111 OF 118, MAP NUMBER 340720311E, EFFECTIVE DATE AUGUST 16, 2009.
 - BY GRAPHIC PLOTTING ONLY, THE PREMISES ARE LOCATED IN PRELIMINARY FIRM ZONE AE (SPECIAL FLOOD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATION + 12' & 1' DATUM REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS PER COMMUNITY PANEL NUMBER 111 OF 118, MAP NUMBER 340720311E, EFFECTIVE DATE DECEMBER 20, 2013. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - THE PROPOSED PROJECT WILL BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
 - ALL PROPOSED DEPRESSED CURB SHALL BE CONCRETE CURB.
 - ALL PROPOSED PARKING STALLS SHALL BE 9'X18'.
 - WALL SIGNAGE FOR TENANT TO COMPLY WITH THE CITY REQUIREMENTS OR REQUEST RELIEF FOR ANY NON-COMPLIANT SIGNAGE.

BUILDING SUMMARY (BLOCK 721 LOT 2)	
EXTG. PHARMACY	14,698 SF
EXTG. GROCERY	35,089 SF
EXTG. FITNESS	35,000 SF
EXTG. COFFEE	2,414 SF
EXTG. COMMERCIAL	1,574 SF
EXTG. BANK	1,971 SF
PROP. TENANT-A	3,285 SF
TOTAL	94,031 SF

CITY OF BAYONNE ZONING TABLE Bayonne Metropolitan Harbor District Redevelopment Area - HS-4 (Block 720, Lot 1) Proposed Commercial Area		
ITEM	REQUIRED/PERMITTED	PROPOSED
Land Use	Multi-Family House, Townhouses, Cultural, Entertainment, Retail, Hotel Parking Facility	Retail Use
Lot Requirements:		
Min. Lot Area	-	7.91 AC
Min. Lot Width	-	585.5 FT (Along Route 440)
Principal Building Setbacks and Height		
Min. Front Yard	-	50.0 FT
Min. Side Yard	-	0.2 FT
Min. Rear Yard	-	28.0 FT
Min. Building Height	25 stories or 250 FT	2 stories
Min. Impervious Coverage	80%	85.9%
Min. Sidewalk width	10 FT	11 FT
Min. Height of fences and free standing walls	8 FT	1.5 FT
Parking		
Min. Standard Space Size	9'x18'	9'x18'
Retail with Shopping carts	10'x18'	10'x18'
Min. Area Width (90 degree parking)	24 FT	24 FT
Min. Number of Spaces	3 per 1000 SF	3 per 1000 SF
Min. Parking Area Landscape	10%	22.35%
Lighting		
Mounting Height		
1) Post Terminal Blvd and Chosen Freeway	Min 14 FT 7 IN, Max 20 FT	14 FT 7 IN
2) Second order streets	Min 12 FT, Max 15 FT	14 FT 7 IN
3) Off-Street Parking	30 FT	36.5 FT
Signs		
1) Max. Area of Wall mounted sign	20 SF	Varies*
2) Free-standing Sign	60 SF	Varies*
* - See Sign Summary Table		

EXISTING SYMBOLS & LINES

- STORM DRAIN
- SEWAGE LINE
- GAS LINE
- WATER LINE
- STREET LIGHT
- OVERHEAD WIRE
- FENCE (TYPE AS NOTED)
- TREE LINE
- PROPERTY/RIGHT-OF-WAY LINE
- WETLANDS
- WETLANDS BUFFER
- UTILITY EASEMENT
- CONTOUR LINE
- HYDRANT
- AREA LIGHT
- SIGNAL POLE
- POLE
- ANCHOR POLE
- WATER VALVE
- GAS VALVE
- UNKNOWN VALVE
- CATCH BASIN
- SPOT ELEVATION
- CLEAN OUT
- BENCH MARK
- SIGN
- METAL COVER
- ELECTRIC METER
- GAS METER
- DOOR
- DOUBLE DOOR
- GARAGE DOOR
- EXISTING CONTOUR
- TO REMAIN
- TO BE REMOVED

PROPOSED SYMBOLS & LINES

SITE

- BUILDING
- CURB LINE
- DECORATIVE FENCE
- PARKING ROW COUNT
- PARKING COUNT FOR EACH AREA
- WHEEL STOP
- PROPOSED SIDEWALK

GRADING AND DRAINAGE

- STORM ROOF LEADER
- STORM CLEANOUT
- PROPOSED CONTOUR
- SPOT GRADE
- TOP OF CURB ELEVATION
- BOTTOM OF CURB ELEVATION
- FLOW ARROW
- MATCH EXISTING

UTILITY

- WATER LINE
- GAS LINE
- ELECTRIC LINE
- WATER VALVE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- TREE
- PROPOSED SANITARY PIPE

LIGHTING

- WALLPACK LIGHT FIXTURE

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NJ CERTIFICATE OF AUTHORIZATION: 24G0242200

Project

HARBOR SUITE MARKETPLACE

BLOCK 721, LOT 2

CITY OF BAYONNE
HUDSON COUNTY
NEW JERSEY

Drawing Title

SITE PLAN

CHIRAG V. THANKAR
PROFESSIONAL ENGINEER
NJ LIC. NO. PE 24GE0451600

DATE	COMMENTS	NO.
REVISIONS		
Project No.	230005801	
Date	3/5/2026	
Scale	1" = 40'	
Drawn By	MMS	
Checked By	CT	
Drawing No.		

CS-101

Sheet 3 of 7

1. THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
2. BOUNDARY AND TOPOGRAPHIC FEATURES INFORMATION SHOWN HEREON IS BASED ON AN AS-BUILT SURVEY PREPARED BY DPR CONSULTING, LLC LAST REVISED 12/19/2012.
3. THE VERTICAL DATUM IS NAVD 1983 AND HORIZONTAL DATUM IS NAD 1983.
4. BY GRAPHIC PLOTTING ONLY, THE PREMISES ARE LOCATED IN FIRM ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD AREA). FIRM ZONE AE (SPECIAL FLOOD AREA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATIONS = 9' DATUM 1988 = 12' DATUM 2013. THE PRESENTED DATUM OF 1988 AS PER COMMUNITY PLAN, NUMBER 11 OF 118, MAP 3001700111E, EFFECTIVE DATE AUGUST 18, 2006.
5. BY GRAPHIC PLOTTING ONLY, THE PRESENTED DATUM OF 1988 IS PRELIMINARY FIRM ZONE AE (SPECIAL FLOOD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) BASE FLOOD ELEVATIONS = 12' DATUM 1988 = 14' DATUM 2013. THE PRESENTED DATUM OF 1988 AS PER COMMUNITY PLAN, NUMBER 11 OF 118, MAP 3001700111E, EFFECTIVE DATE DECEMBER 20, 2013. NO FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
6. THE RESPONSIBILITY OF OPERATION AND MAINTENANCE OF THE DRAINAGE FACILITIES SHALL REMAIN WITH THE OWNER OF THE FACILITIES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND PLACEMENT OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN BY THE ENGINEER. INFORMATION TO BE USED TO LOCATE UTILITIES MUST BE EXACT, ACCURATE OR COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HED LOCATED UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION.

[illegible]

OF CERTAIN PHASES. THE EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE REFERENCED AND USED IN CONJUNCTION WITH THIS DRAWING TO COMPLETE THE CONSTRUCTION PHASING.

STORM DRAINAGE STRUCTURES SHALL BE INSTALLED AT THE LOCATIONS AND ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS AS SHOWN ON SHEET CS-501. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST UNLESS STATED OTHERWISE.

STORM SEWER PIPES SHALL NOT ENTER THE CORNERS OF INLET BOXES. PIPE CONNECTIONS SHALL BE MADE AT THE SIDES OR ENDS OF BOXES.

AT LOCATIONS WHERE PROPOSED DRAINAGE TIES INTO EXISTING DRAINAGE, INVERTS AND CONNECTION AT EXISTING STRUCTURES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM, POLISHED MORTAR INVERT FROM INVERT TO INVERT OUT.

HPIPE STORM PIPE SHALL BE PER ASTM F-2506 WITH JOINTS SEALED PER ASTM D-3212 BEDDING AND BACKFILL REQUIREMENTS FOR HPIPE PIPE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND AS SHOWN ON DRAWING CS-501.

TOP OF GATE ELEVATIONS REPRESENT ELEVATIONS AT THE CURBLINE.

THE SITE IS TO BE GRADED SMOOTHLY AND EVENLY IN ACCORDANCE WITH THE PROPOSED CONTOURS AND SPOT ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING A POSITIVE DRAINAGE FLOW TO ALL CATCH BASINS WITHOUT CREATING ANY LOW SPOTS THAT WILL RESULT IN POOLING (PONDING). CONSTRUCTION SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL UNPAVED AND PAVED AREAS.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING

CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

ALL PERVIOUS AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SIX (6) INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION BARK ON ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.

PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT ONE (1) FOOT INTERVALS.

ALL CUT OR FILL SLOPES SHALL BE 2H:1V OR FLATTER UNLESS OTHERWISE NOTED.

ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 PSI.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

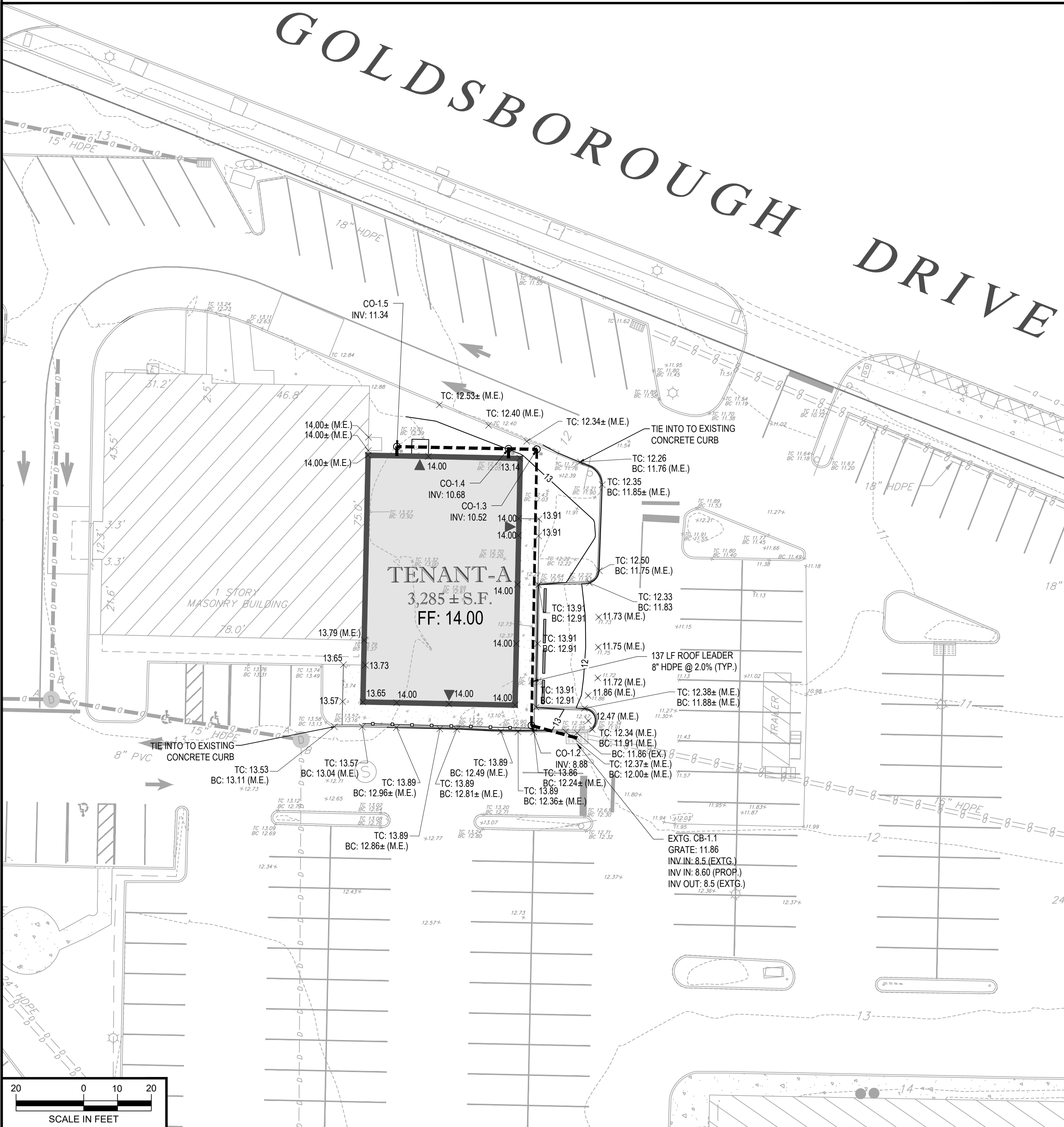
COMPARISON CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA GIVEN ELSEWHERE OR IN PROJECT GEOTECHNICAL INVESTIGATION REPORT.

FILL AREA DENSITY	PERCENT OF MAXIMUM MODIFIED PROCTOR DRY
BELOW FOOTING LEVEL	95%
INTERIOR SLABS ON GRADE	95%
PAVING AREAS	92%
UTILITY TRENCHES BELOW BELOW 1'0"	92%
UTILITY TRENCHES TO 1'-6"	92%
PERIMETER FILL AREAS	90%
BELOW SIDEWALKS	90%
BELOW EXTERIOR SLABS	95%
SITEWORK SHALL MEET OR EXCEED TENANT AND CITY SITE SPECIFICATIONS.	
THE CONTRACTOR SHALL REMOVE AREAS OF FINISHED SUBGRADE FOUND TO HAVE INSUFFICIENT COMPACTION DENSITY TO NECESSARY DEPTHS AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/SUBMITTALS TO OWNER AND OWNER'S ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PROCURING ANY MATERIAL OR CONSTRUCTION OF ANY IMPROVEMENTS SHOWN HEREON. ALL EXISTING STORM STRUCTURES AND ALL OTHER UTILITY STRUCTURES ARE TO BE FLUSH WITH PROPOSED GRADES. ALL STORM PIPES SHALL HAVE A MINIMUM COVER OF 1'.	

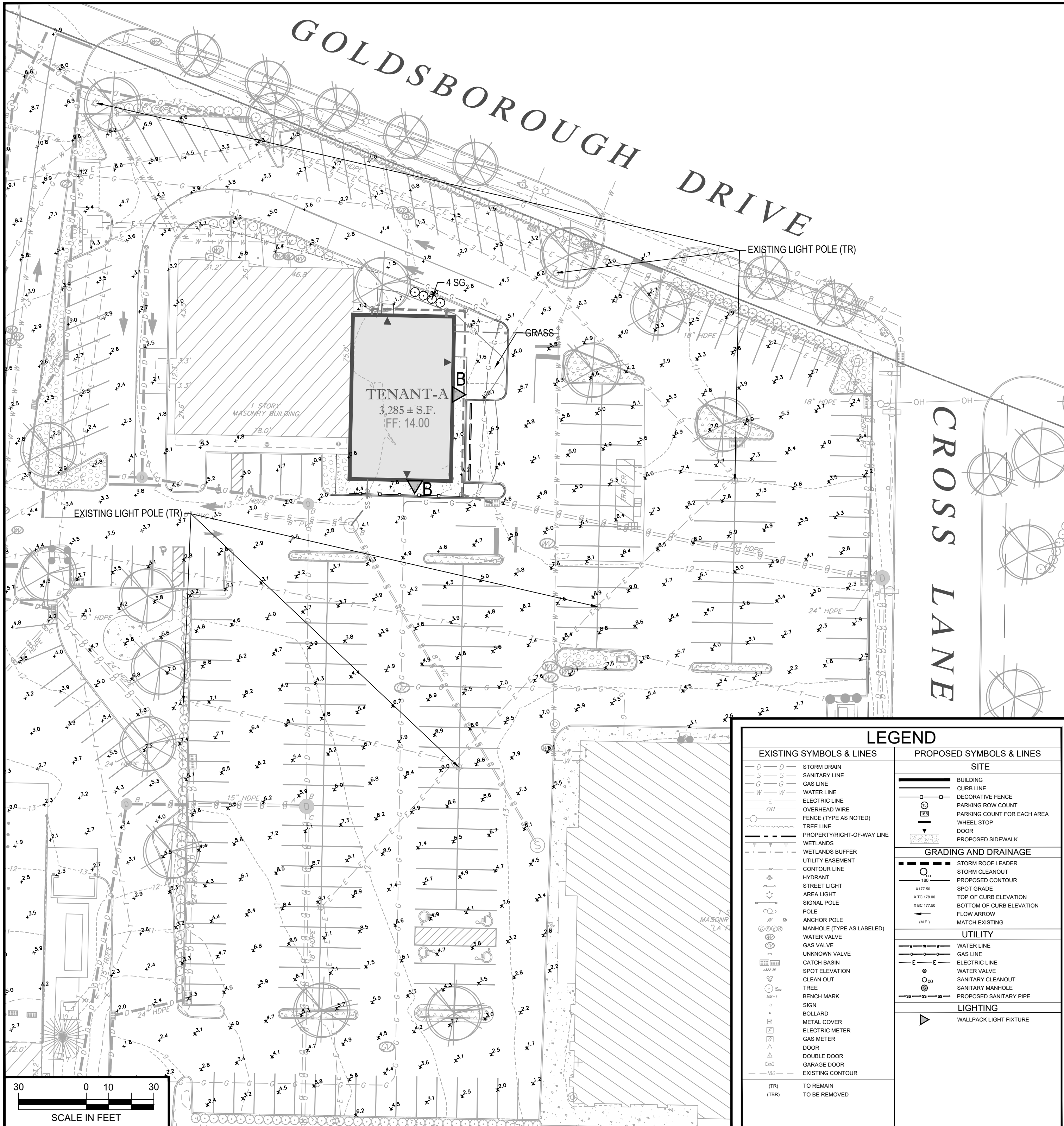
1. CONTRACTOR SHALL REFER TO THE ACCESSIBILITY GUIDELINES AND ASH 220.01 FOR THE LONGS AND FACILITIES (ADAG) TO ENSURE THAT ALL DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL CONSTRUCT AREAS DESIGNATED FOR ACCESSIBLE ROUTES (INCLUDING CURB RAMP, SIDEWALK, HANDICAP PARKING STALLS, CROWDSWALKS AND INLETS) BY FOLLOWING THE MOST CURRENT ADA ACCESSIBILITY GUIDELINES AND AREA AT 11-7.2003.
2. ALL ACCESSIBLE PARKING SPACES AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
3. ALL ACCESSIBLE ROUTE AND RAMP CROSS SLOPES SHALL NOT EXCEED 2%.
4. ALL ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF .5% IN ANY PART OF THE ACCESSIBLE ROUTE HAS A RUNNING SLOPE EXCEEDING .5% IT IS CONSIDERED A RAMP.
5. RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF .83% (1:12 SLOPE) AND A MAXIMUM CROSS SLOPE OF .5% (SEE SHEET C3-50 FOR DETAILS).
6. CONTRACTOR SHALL VERIFY THAT THE EXISTING LONGITUDINAL SLOPE (ALONG THE DIRECTION OF TRAVEL) DOES NOT EXCEED 3% AND CROSS SLOPE DOES NOT EXCEED 2% FOR ACCESSIBLE ROUTES (P.T.P.). CONTRACTOR SHALL NOTIFY THE OWNER AND OWNER'S ENGINEER IF ANY ACCESSIBLE ROUTE (S) IS/ARE NOT MEETING THE ABOVE REQUIREMENTS.
7. IT IS CONTRACTOR RESPONSIBILITY TO PROVIDE THE DESIGN AND CONSTRUCTION OF THE 220.01 FOR THE LONGS AND FACILITIES WHERE HANDICAP FACILITIES ARE PROPOSED TO BE CONSTRUCTED PRIOR TO CONSTRUCTION OF SUCH HANDICAP FACILITIES.

BACKFILLING OF ALL PROPOSED UTILITY TRENCHES, INCLUDING BUT NOT LIMITED TO STORM, WATER, SANITARY, ELECTRIC AND GAS SHALL UTILIZE DENSE GRADED AGGREGATE ABOVE THE PIPE CRADLE WHEN BACKFILLING WITHIN PAVEMENT AREAS.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Parking Lot Light Levels	+	4.6 fc	11.1 fc	0.4 fc	27.8:1	11.5:1
LA Fitness Parking Area Light Levels	×	5.2 fc	10.1 fc	1.2 fc	8.4:1	4.3:1



1" = 20'



1" = 30'

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ENGINEERING CIVIL ENGINEERS		
arna Engineering Inc. 1456 Ferry Road, Suite 603 Doylestown, PA 18901 T: 215.766.8280 F: 215.434.5280 NJ CERTIFICATE OF AUTHORIZATION: 24GA28242200		
Project		
HARBOR VIEW MARKETPLACE		
BLOCK 721, LOT 2		
CITY OF BAYONNE HUDSON COUNTY	NEW JERSEY	
Drawing Title		
SITE IMPROVEMENTS PLAN		
CHIRAG V. THAKKAR PROFESSIONAL ENGINEER NJ LIC. No. PE 24GE04451600		
DATE:	COMMENTS	NO.
REVISIONS		
Project No.		230005801
Date		3/5/2026
Scale		AS NOTED
Drawn By		MMS
Checked By		CT
Drawing No.		
CG-101		
Sheet 4 of 7		

1. ALL UTILITY SERVICES TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER AND SEWER SERVICE PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO UTILITY PROVIDERS RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.

2. ALL TELEPHONE, ELECTRICAL, TELEVISION AND COMMUNICATION FACILITIES, BOTH MAIN AND SERVICE LINES, SHOULD BE UNDERGROUND. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.

3. ALL DUCTILE IRON PIPE AND FITTINGS FOR WATER SERVICES SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A21.51 (AWWA C151). CONTRACTOR MUST PROVIDE A SUBMITTAL TO OWNER'S ENGINEER PRIOR TO ORDERING OR CONSTRUCTION. ALL WATER MAINS TO BE CLASS 52 DIP.

4. THE CONTRACTOR SHALL PROVIDE THREE (3) SETS OF AS-BUILT PLANS CONFORMING TO THE AUTHORITY'S "AS-BUILT" DRAWING REQUIREMENTS. THE PLANS MUST SHOW THE NEW WATER AND SANITARY SEWER SYSTEMS AND INCLUDE THE PORTION OF THE EXISTING SYSTEMS WHERE THEY TIE INTO. THE PLANS MUST BE SIGNED AND SEALED BY A NEW JERSEY LICENSED LAND SURVEYOR. IN ADDITION TO THE THREE (3) PAPER COPIES, THE CONTRACTOR MUST PROVIDE A DISK OR CD IN AUTOCAD FORMAT OF THE SUBMITTED PLANS.

5. ALL WATER MAINS AND SANITARY OR INDUSTRIAL SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER MAIN AND SEWER LINES SHALL BE IN SEPARATE TRENCHES WITH THE TOP OF THE SEWER MAIN AT LEAST 18 INCHES BELOW THE TOP OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE WATER AND SEWER PROVIDERS. AT CROSSINGS OF SEWER AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH WATERIGHT "PUSH-ON" OR MECHANICAL JOINTS FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF CROSSING.

6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT

LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES, IF ANY, WHICH MAY CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES. THE CONTRACTOR MUST INCLUDE THE SERVICES OF A UTILITY LOCATION COMPANY TO LOCATE THE EXACT DEPTH, LOCATION AND SIZE OF UTILITY PRIOR TO CONSTRUCTION. IF THERE ARE ANY SIGNIFICANT DEVIATIONS FROM THE INFORMATION SHOWN ON THESE PLANS, CONTRACTOR MUST REPORT THE INFORMATION TO THE UTILITY COMPANY AND THE OWNER'S ENGINEER PRIOR TO INSTALLATION.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.

THE LOCATION OF EXISTING UTILITIES (I.E. ELECTRIC, TELEPHONE, GAS, SEWER & WATER) ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. ALL UTILITIES (INCLUDING APPURTENANCES) MUST BE CONSTRUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES, RULES, STANDARDS AND REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BEGINNING AND DURING THE COURSE OF CONSTRUCTION.

THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.

3. THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER AND WATER WORK WITH THE WATER & SEWER SERVICE PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO ALL UTILITY PROVIDER REQUIREMENTS, DETAILS AND RULES & REGULATIONS PRIOR TO SITEMARK BID AND DURING THE COURSE OF CONSTRUCTION. CONTRACTOR IS CAUTIONED THAT UTILITY DETAILS PROVIDED ON THE LAND DEVELOPMENT SET ARE FOR INFORMATIONAL PURPOSES ONLY.

11. BUILDING UTILITIES ARE TO BE STUBBED WITHIN 5' OF BUILDING. REFERENCE TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SIZE OF UTILITY TIE IN TO THE PROPOSED BUILDINGS.

12. CONTRACTOR MUST NOTIFY OF ANY UTILITY CONFLICTS TO THE OWNER AND OWNER'S ENGINEER IN WRITING PRIOR TO ORDERING MATERIAL OR CONSTRUCTION. ANY COST ASSOCIATED WITH CURING OR REMEDY TO UTILITY CONFLICTS DISCOVERED AFTER ORDERING OF THE MATERIAL OR COMMENCEMENT OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

13. THE PROJECT ARCHITECT WILL PROVIDE THE DETAILED FIRE SPRINKLER SYSTEM DRAWINGS PRIOR TO OBTAINING BUILDING PERMITS AND COORDINATE THE FIRE DEPARTMENT CONNECTIONS WITH JURISDICTIONAL FIRE DEPARTMENT OR COMPANY.

14. WATER SERVICE METERS SHALL BE PER THE CITY OF BAYONNE MUNICIPAL UTILITIES AUTHORITY SPECIFICATIONS AND DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK AND DURING THE COURSE OF CONSTRUCTION.

15. ALL EXISTING FIRE HYDRANTS SHALL BE TESTED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.
16. ALL GRAVITY SANITARY SEWER MAINS AND LATERALS SHALL BE PVC SDR-35 PIPE CONFORMING TO SEWER PROVIDERS REQUIREMENTS.
17. ALL SANITARY SEWER LATERALS SHALL HAVE MINIMUM THREE (3) FEET COVER IN CASES WHERE LESS THAN THREE (3) FEET COVER. LATERALS SHALL BE DUCTILE IRON AND CONCRETE ENCASED. IN NO INSTANCES SHALL THE COVER BE LESS THAN 30 INCHES.

19. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE APPROVALS & PERMITS FROM THE JURISDICTIONAL AGENCIES PRIOR TO COMMENCEMENT OF WORK.

20. CONTRACTOR MUST MAKE NECESSARY ADJUSTMENTS TO ALL THE EXISTING & PROPOSED INLET GRATES, MANHOLES RIMS, FRAMES, GRATES, VALVES BOXES, ETC. SUCH THAT THEY ARE FLUSHED WITH FINAL GRADES.

21. THE STORM DRAINAGE SYSTEM IS SHOWN ON THIS PLAN FOR INFORMATION ONLY. REFER TO "SITE IMPROVEMENTS PLAN" FOR STORM DRAINAGE SYSTEM INFORMATION.

22. THE CONTRACTOR MUST NOTIFY UTILITIES COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR EXCAVATION.

23. ROOTING AND LAYOUT OF ALL UTILITIES SHOWN ON THIS PLAN IS SUBJECT TO ADJUSTMENT TO MEET UTILITY COMPANY REQUIREMENTS AND COORDINATION WITH BUILDING MECHANICAL DESIGN.

24. ALL DEMOLITION, REMOVAL, AND ABANDONMENT WORK SHALL BE IN ACCORDANCE WITH APPLICABLE REGULATIONS. IT IS CONTRACTOR'S RESPONSIBILITY TO ADHERE TO THESE REGULATIONS.

25. CONTRACTOR MUST REFER TO SITE LIGHTING ELECTRICAL PLANS PREPARED BY OTHERS FOR SITE ELECTRIFICATION. ELECTRIC LINES SHOWN ON THIS PLAN ARE ANTICIPATED LINE ROUTING, SUBJECT TO ADJUSTMENTS.

26. BOUNDARY AND TOPOGRAPHIC FEATURES INFORMATION SHOWN HEREON IS BASED ON AN AS-BUILT SURVEY PREPARED BY DPK CONSULTING, LLC, LAST REVISED 12/13/2022.

27. THE LOCATION OF FIRE LANES, HYDRANTS AND STANDPIPES IS SUBJECT TO REVIEW BY THE FIRE DEPARTMENT.

28. THE ENTIRE SANITARY SEWER SYSTEM WILL BE OWNED BY THE CITY OF BAYONNE.

29. ALL WET TAP CONNECTIONS SHALL BE PERFORMED BY SUEZ PERSONNEL.

30. WATER AND SANITARY SEWER SHALL NOT BE LESS THAN 10-FEET APART HORIZONTALLY AND/OR 18" VERTICALLY WITH WATER ABOVE SANITARY SEWER PER NJAC 7:14, AND SHALL BE SEPARATED BY UNDISTURBED OR UNCOMPACTED EARTH, UNLESS OTHERWISE APPROVED BY THE CITY OF BAYONNE.

31. ALL DUCTILE IRON PIPE FOR SANITARY SEWER SHALL BE IN ACCORDANCE WITH THE CITY REGULATIONS.

32. ALL WATER METERS SHALL BE INSTALLED WITH A MINIMUM COVER OF FEET UNLESS OTHERWISE APPROVED BY THE CITY.

UTILITY CROSSINGS WITH LESS THAN TWELVE (12) INCHES VERTICAL CLEARANCE TO A WATER MAIN SHALL BE CONCRETE ENCASED FOR A MINIMUM OF 10 FEET ON EITHER SIDE OF THE CROSSING. ALL OTHER UTILITY CROSSINGS WITH LESS THAN TWELVE (12) INCHES VERTICAL SEPARATION SHALL BE CONCRETE ENCASED.

34. THE CONTRACTOR SHALL PROVIDE 10 FEET HORIZONTAL SEPARATION FROM SANITARY SEWER TO PROPOSED WATER MAIN. A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE BOTTOM OF WATER MAIN AND

TOP OF SANITARY SEWER SHALL BE MAINTAINED AT ALL CROSSINGS. THE WATER MAIN SHALL BE ENCASED IN CONCRETE UP TO 10 FEET ON EITHER SIDE FROM THE CENTER LINE OF SANITARY SEWER MANHOLES, AND WHERE 10 FEET HORIZONTAL AND 18 INCHES VERTICAL SEPARATIONS ARE NOT MAINTAINED.

CONTRACTOR MUST FIELD VERIFY ALL EXISTING UTILITIES PRESENT AT THE SITE PRIOR TO CONSTRUCTION. CONTRACTOR MUST COORDINATE EXTENSION OF THE PROPOSED UTILITIES WITH THE UTILITY SERVICE PROVIDERS PRIOR TO ORDERING OR CONSTRUCTION.

IN THE AREAS OF EXCAVATION, ALL EXISTING UTILITIES TO REMAIN SHALL BE CHECKED FOR PROPER COVER AS REQUIRED BY THE UTILITY PROVIDERS. SHOULD MINIMUM COVER NOT EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE RESPECTIVE UTILITY PROVIDER TO ADJUST THE UTILITIES TO PROVIDE PROPER COVER.

ELECTRIC AND GAS LINES SHOWN ON THIS PLAN ARE ANTICIPATED LINE ROUTES WHICH ARE SUBJECT TO ADJUSTMENT PER UTILITY PROVIDER. FINAL UTILITY SIZES AND LOCATION ARE TO BE COORDINATED WITH RESPECTIVE UTILITY PROVIDER AND PROJECT MEP DESIGNER.

CONTRACTOR MUST COMPLY WITH ALL APPLICABLE SEWER AND WATER PROVIDERS RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.

